

ACTIVITY DETERMINATION

Project No. BGVQX

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.



Signed.....

Name.. Emma Nicholson

Dated..... 16/12/2022

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

67-69 and 28-30

Street or property name

Pioneer Road and Bramsen Street

Suburb, town or locality

Bellambi

Postcode

2518

Local Government Area(s)

Wollongong

Real property description (Lot and DP)

Lots 36, 37, 38 & 39 in DP 35989

ACTIVITY DESCRIPTION

Provide a description of the activity

Construction of a two-storey residential flat building containing 18 units comprising 8x1 bedroom and 10x2 bedroom units, with associated landscaping and fencing, surface parking for 16 car spaces and 2 motorbike spaces, removal of 7 trees and consolidation into a single lot.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.



Signed.....

16/12/2022

Dated.....

Emma Nicholson
A/Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard identified requirements

THE DEVELOPMENT

*The following identified requirements are to ensure that the **residential** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development must be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural				
Cover sheet and location plan	A001	1	06.12.21	McIntosh & Phelps
Site analysis	A002	1	06.12.21	McIntosh & Phelps
Site analysis	A003	1	06.12.21	McIntosh & Phelps
Demolition plan	A004	1	06.12.21	McIntosh & Phelps
Site plan	A005	2	24.10.22	McIntosh & Phelps
Floor plan – ground floor	A101	2	24.10.22	McIntosh & Phelps
Floor plan – level 1	A102	1	06.12.21	McIntosh & Phelps
Roof plan	A103	1	06.12.21	McIntosh & Phelps
Elevations – Bramsen St & Pioneer Rd	A201	1	06.12.21	McIntosh & Phelps
Elevations & Sections	A202	2	24.10.22	McIntosh & Phelps
Elevations & Sections	A203	2	24.10.22	McIntosh & Phelps
Streetscape Elevations	A204	1	09.02.22	McIntosh & Phelps
Photomontage 1	A301	1	06.12.21	McIntosh & Phelps
Photomontage 2	A302	1	06.12.21	McIntosh & Phelps
Photomontage 3	A303	1	06.12.21	McIntosh & Phelps
External finishes selections	A401	1	06.12.21	McIntosh & Phelps
Shadow Diagrams – 21 June 09:00	A501	1	06.12.21	McIntosh & Phelps
Shadow Diagrams – 21 June 12:00	A502	1	06.12.21	McIntosh & Phelps
Shadow Diagrams – 21 June 15:00	A502	1	06.12.21	McIntosh & Phelps
Solar Access Plan Ground Floor	A504	2	24.10.22	McIntosh & Phelps
Solar Access Plan Level	A505	1	06.12.21	McIntosh & Phelps

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
1				
View from Sun	A506	2	24.10.22	McIntosh & Phelps
Solar Access Summary Table	A507	2	24.10.22	McIntosh & Phelps
Landscape plan	A601	2	24.10.22	McIntosh & Phelps
Landscape plan	A602	2	24.10.22	McIntosh & Phelps
Planting schedule	A603	1	09.02.22	McIntosh & Phelps
Gross floor area	A701	1	06.12.21	McIntosh & Phelps
Deep soil zone/ landscaped areas	A702	1	09.02.22	McIntosh & Phelps
Communal open space plan	A703	1	24.01.22	McIntosh & Phelps
Civil/ Stormwater				
Cover Sheet	C01.01	2	03.12.21	Northrop
Sediment and soil erosion control plan	C02.01	3	03.12.21	Northrop
Sediment and soil erosion control details	C02.11	3	03.12.21	Northrop
Cut and fill plan	C03.01	3	03.12.21	Northrop
Siteworks and stormwater plan	C04.02	3	21.10.22	Northrop
Reports				
Arboricultural Impact Assessment Report	D4290		December 2021	Allied Tree Consultancy
BCA Assessment Report	200435	6	29.04.22	Blackett Maguire + Goldsmith
Acoustic Report		8	06.05.22	Northrop
Construction & Demolition Waste Management Plan	SO1011	E	22.03.22	Elephants Foot
Operational Waste Management Plan	SO1011	E	22.03.22	Elephants Foot
Access Capability Statement	200347	02	22.03.22	City Plan Services
BASIX				
BASIX Certificate	1184060M_02		29.03.22	
Nathers Certificate	0006885820		05.12.21	

- All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
- The land subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

- Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area substantially in accordance with the approved concept stormwater drainage plans.

7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing(s) and layback(s) shall be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) shall be constructed in accordance with the council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback(s)/ driveway(s) shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with the council's standards.

Note: It is recommended that discussions be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveway(s) shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. Council have identified the site as potentially contaminated land due to historic uses of the site and adjoining area. A combined (Stage I and III) Site Investigation Report shall be undertaken prior to commencement of construction works that identifies the exact nature, degree and extent of any contamination within the soil and/or groundwater table (if any).

Should these investigations reveal that the site is contaminated a proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The council for the area shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY BUILDING WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any building work commencing on the site.

Long Service Levy

~~The long service levy shall be paid by the Land & Housing Corporation to the Long Service Payments Corporation in accordance with the Building & Construction Industry Long Service Payments Act 1986 prior to the commencement of any building and construction works.~~

Note:

~~Where approval has been granted for development by a Crown body other than a council, the amount payable is 0.35% of the contract inclusive of GST.~~

Service Authority Clearances

24. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. the local council for the area, Hunter Water or Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

25. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
26. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
27. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Utilities Service Provider Notification

28. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note: *If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

Disconnection of Services

29. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
30. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Stormwater Disposal

31. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and Chapter E14 of the *Wollongong Development Control Plan 2009*. Certification from a suitably qualified engineer that this requirement has been met must accompany the plan submitted to Land & Housing Corporation.
32. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

Council Notification

33. The council for the area shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of five (5) working days notification shall be given.

Landfill

34. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
35. Land fill materials must satisfy the following requirements:
- i. Shall be Virgin Excavated Natural Matter (VENM);
 - ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. Shall be free of industrial waste and building debris.

Site Facilities

36. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
37. Access to the site shall only be provided via an all-weather driveway on the property and shall not be provided from any other site.

Site Safety

38. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

39. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

40. Building and demolition materials shall not be stored on the council footpath or roadway.

Protection of Trees

41. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the arborist report.

Waste Management

42. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

DURING CONSTRUCTION

The following identified requirements are to be complied with whilst works are occurring on the site.

Heritage

43. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted, or if Indigenous items have been uncovered, the Department of Environment, Energy and Science shall be contacted.
44. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Coordinator-General of the Department of Environment, Energy and Science.

Survey Reports

45. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Construction / Civil Work

46. Construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

47. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

48. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the Department of Environment and Climate Change (now Department of Environment, Energy and Science).
49. No fires shall be lit, or waste materials burnt, on the site.

50. No washing of concrete forms or trucks shall occur on the site.
51. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
52. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
53. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
54. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

55. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
56. Care shall be taken to prevent any damage or restriction of access to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.
57. If associated infrastructure (pipe works) are to be installed within the Tree Protection Zone of any retained specimen, they are to be installed by hand with non-motorised machinery. If structural roots are found within the trench, they are to be left intact and dug around retaining this specimen's structural integrity with works to be undertaken in consultation with the project arborist.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following identified requirements are to be complied with prior to the occupation of the development.

General

58. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Termite Protection

59. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

Council Infrastructure Damage

60. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

61. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the council for the area's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the council for the area.

PART B – Additional identified requirements

62. The recommendations of the Geotechnical Investigation and Acid Sulfate Soil Assessment prepared by STS Geotechnics dated March 2020 shall be implemented prior to commencement of construction.
63. Prior to the commencement of works, a Construction Management Plan is to be prepared to manage traffic and parking impacts during construction works.
64. To compensate for the loss of T1 during preliminary demolition works, a replacement tree must be provided in the same location. The tree must be appropriate species determined by a qualified landscape architect and have a mature height of 5m. Details of the replacement tree must be included in the documentation for the relevant Crown certificate prior to construction.

Requirements resulting from council comments

65. Connection across footways should be by means of one or two (maximum), sewer grade UPVC pipe(s), 100mm diameter pipes with a continuous downslope gradient to the kerb. Connection to the kerb should be made with a rectangular, hot dipped galvanised mild steel weephole(s) shaped to suit the kerb profile, with each weephole having the capacity equal to a 100mm diameter pipe. Alternatively, a maximum of two 150mm x 100mm hot dipped galvanised steel pipes may be used across footways, with the 150mm dimension being parallel to the road surface to suit the kerb profile.
66. All roof gutters and downpipes should be designed to cater for a 1 in 100 year ARI storm event in accordance with the current version of AS 3500.3 — Plumbing and Drainage (Stormwater Drainage). Details of gutter/downpipe sizes and downpipe locations should be reflected on the Construction plans.
67. Flows from adjoining properties should be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary should be no higher than the existing upslope adjacent ground levels.
68. During works the development should ensure there are no adverse effects to adjoining properties or upon the land as a result of flood or stormwater run-off. Attention should be paid to ensure

adequate protection for buildings against ingress or surface run-off. Allowance should be made for surface run-off from adjoining properties. Any redirection or treatment of that run-off should not adversely affect any other property.

69. The developer must address the street frontage by installing street tree planting. The number and species for this development are:

- Pioneer Road - four *Melaleuca linariifolia*;
- Bramsen Street - four *Callistemon viminalis*;

200 litre container size, in accordance with AS 2303:2018: Tree stock for landscape use. Street trees are to be installed in accordance with Wollongong Development Control Plan 2009— Chapter E6: Landscaping. 'Dial Before You Dig' must be consulted prior to any excavation on site. Pot holing must be carried out to determine service location. Tree pits must be adequately mulched, plants installed and staking installed to the satisfaction of WCC Manager of Works. Staking is to consist of minimum 3 x 2400 x 50 x 50mm hardwood stakes driven minimum 600mm into firm ground. Hessian webbing is to be utilised to secure plant stock to industry standard.

70. Before the issue of the construction documentation, a suitably qualified engineer must prepare a dilapidation report detailing the structural condition of adjoining buildings, structures or works, and public land, to the satisfaction of LAHC. If the engineer is denied access to any adjoining properties to prepare the dilapidation report, the report must be based on a survey of what can be observed externally and demonstrate, in writing, to LAHC's satisfaction that all reasonable steps were taken to obtain access to the adjoining properties.
71. The provision of common taps is required to guarantee that all landscape works are adequately watered.
72. Before the occupation of the building, the crown certifier must be satisfied that all landscape and tree works, including pruning in accordance with *AS 4373-2007 Pruning of amenity trees and the removal of all noxious weed species*, have been completed.
73. Prior to the occupation of the building, the developer must supply certification in the form of a report, including photographic evidence, from an AQF Level 5 Arborist to the Crown Certifier and Wollongong City Council to verify:
- The tree stock for the 8 new street trees complies with AS 2203:2018 Tree Stock for Landscape Use.
 - The tree pits for the 8 new street trees have been constructed and the trees installed in accordance with the requirements of the Wollongong City Council City Centre Public Domain Technical Manual and arboricultural best practice.
74. The car parking areas should incorporate 'low impact' lighting on a sensor trigger system to ameliorate any light spillage and/or glare impacts upon surrounding properties.
75. During construction, all loading/unloading operations are to take place at all times wholly within the confines of the site or within the road reserve under an approved traffic control plan.

Requirements resulting from adjoining occupier comments

76. Fencing noted as Fence Type 'F3' on drawings A601 & A602 must be changed to a 1800mm high (plus 2 sleepers) Colorbond fence painted in 'Domain'.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialling 1100.

DETERMINED by the New South Wales Land & Housing Corporation on:

16/12/2022

Heck.

September 2016	01.11.2016	Arbeitskreis Wirtschaftsinformatik (WIR) 2016/2017, 1. Auflage, Publikationsnummer 4.0011, A1, Current date
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16/12/2022

[illegible]

REVISION		
ISS.	DATE	COMMENT
1	06.12.21	REF

ARCHITECT McINTOSH & PHELPS 02 9221 1401	
LANDSCAPE ARCHITECT McINTOSH & PHELPS 02 9221 1401	
PLANNER, ACCESS CONSULTANT CITY PLAN 02 8770 9500	

SERVICES, STRUCTURAL, CIVIL TRAFFIC NORTHROP CONSULTING ENGINEERS 02 9241 4188	
BCA CONSULTANT BLACKETT MAGUIRE + GOLDSMITH 02 9211 7777	

McINTOSH&PHELPS
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LANDSCAPE ARCHITECTURE

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CLIENT

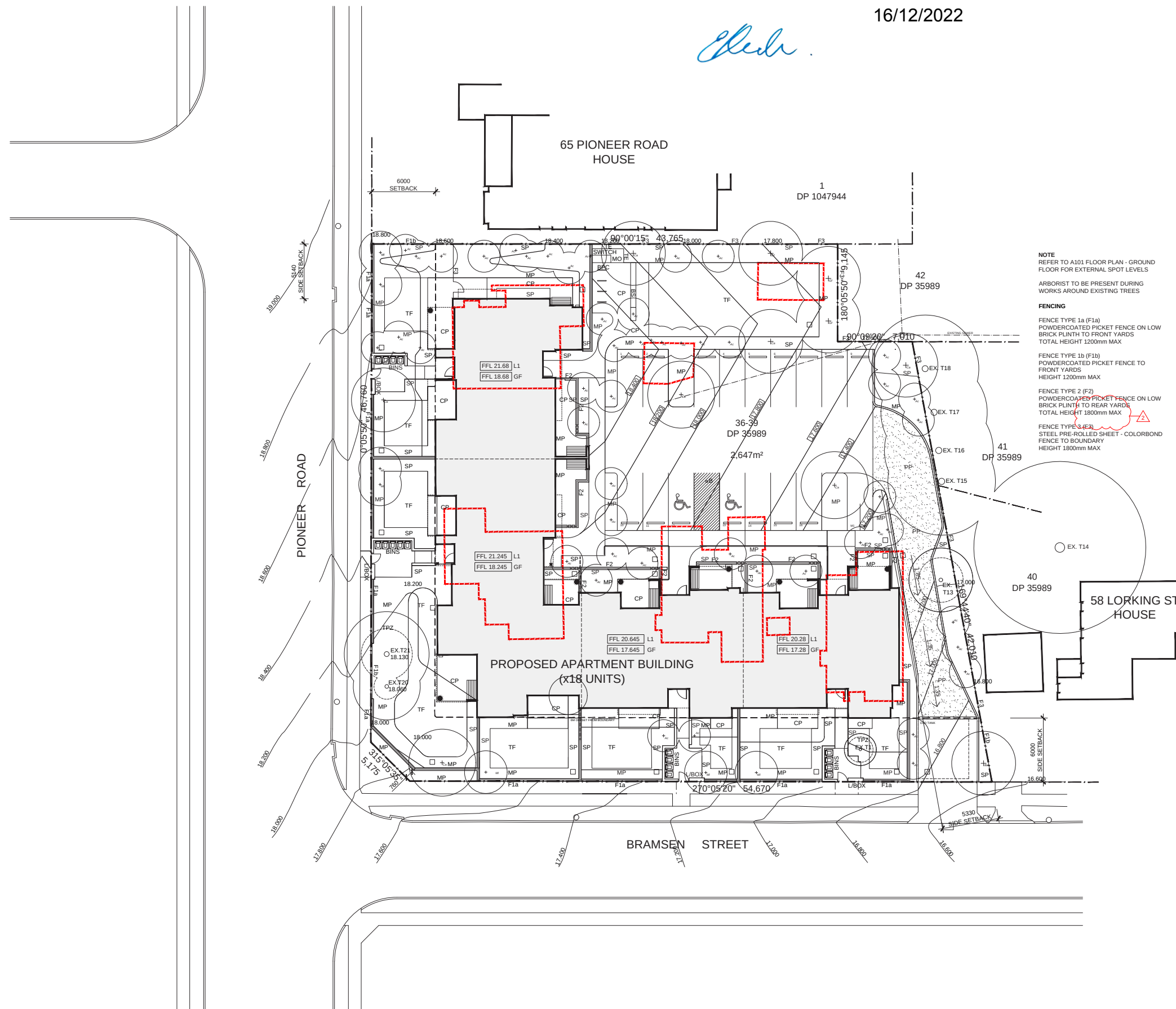
 **Planning,
Industry &
Environment**

NSW LAND AND HOUSING CORPORATION
12 DARCY ST, PARRAMATTA NSW 2150

PROJECT 67 - 69 PIONEER ROAD 28 - 30 BRAMSEN STREET BELLAMBI NSW 2518 DRAWING TITLE DEMOLITION PLAN	SCALE @ A1 1:200	SCALE @ A3 1:400	CONTRACT NUMBER 0000000
	DRAWN	VERIFIED WP/GM	SHEET NO A004 ISSUE 1
APPROVED TO ISSUE <i>W Phelps</i> WILLIAM PHELPS ARN 6075			

16/12/2022

Check.



FENCE TYPE 3 (E3)
STEEL PRE-ROLLED SHEET - COLORBOND
FENCE TO BOUNDARY
HEIGHT 1800mm MAX



42

FACT NUMBER
0000

NO
A005

2

Heck.



LEGEND			
AC	AIR CONDITIONER	CP	CONCRETE PAVING
ACT	ACOUSTIC CEILING TILE	CPD	CURBROAD
ADJ	ADJUSTABLE	CPY	CARPET
ALUM	ALUMINUM	CR	CEMENT RENDER
AS	AS TURNS OUT	CRP	CEMENT RENDER AND PAINT
BAL1	BALUSTRADE - TYPE 1	CT	CERAMIC TILE
BAL2	BALUSTRADE - TYPE 2	DC	DOWN PIPE
BK	BOTTOM OF KERB	DPS	DAMP PROOF COURSE
BS	BICYCLE PARKING CLASS C	DM	DAMP PROOF MEMBRANE
BS	BENCH SEAT	DPS	DOWNPIPE SPREADER
BSN	BASIN	EDB	ELECTRICAL DISTRIBUTION
BL	BLACKBOARD CORE	EX	EXTERNAL
BW	BOTTOM OF WALL	EXT	EXTENDING
BWU	BUILDING WATER UNIT	EXT	EXTENDING TYPE 1a
CB	CABINET	EXT	EXTENDING TYPE 1b
CC	COMPRESSED FIRE CEMENT	EXT	EXTENDING TYPE 1c
CD	CEILING JOINT	EXT	EXTENDING TYPE 2
CL	CENTRE LINE	FC	FENCE TYPE 1
COL	COLUMN	FC	FENCE TYPE 2
COB	CORNER SUTURE	FC	FENCE CEMENT
		FC	FINISHED GRADE LEVEL

FFL	FINISHED FLOOR LEVEL	MS	METAL STUD
FG	FIXED GLAZING	MCB	MAIN CIRCULATING
FHR	FIRE HOSE REEL	MB	MECHANICAL BENCH
FI	FIRE INDICATOR PANEL	OF	OFF FORM CONCRETE
FL	FLUO FLUENT	PA	PAVER
PW	FLOOR WASTE	PA	PLASTERBOARD
GA	GATE	PL	PLYWOOD
GAL	GALVANISED	RC	REINFORCED CONCRETE
GRAND	GRANDSTYLISH TOPPING	REF	REFRIGERATOR
HAND	HANDRAIL	RES	RESIDENT FLOOR
INS	INSULATION	RF	REDUCED LEVEL
IS	IRON	RK	REKINDLING
LV	LOUVRE	RWG	RAINWATER
M	MOTORCYCLE PARKING	SG	SECURITY GATE
MAX	MAXIMUM	SH	SHOON
MD	MEDIUM DENSITY FIBREBOARD	SI	SIMILAR
MD	MEDIUM DENSITY FIBREBOARD	SS	STAINLESS STEEL
MP	MULCH ONLY	SSP	STORMWATER PUMP
MS	MILD STEEL	TS	TIMBER
MS	METAL BOLT SHEETING		

BOARD	TE	TIMBER EDGE
CONCRETE	TF	TURF
	TGSI	TACTILE GROUND SURFACE INDICATORS
	TK	TOP OF KERB
	TW	TOP OF WALL
BOARD	UNO	UNLESS NOTED OTHERWISE
	UR	URINAL
CONCRETE	WB	WEATHERBOARD
OR	WC	WATER CLOSET
FINISH	WS	WHEEL STOP
LEVEL		
WALL		
GUTTER		
DATE		
POINT		
STEEL		
UR PIT		

UNIT X ——— UNIT NUMBER
XX sq' ——— UNIT AREA
(XX sq') ——— LIVING AREA

— — — — — FRL 90/90/90

REVISION		
ISS	DATE	COMMENT
1	06.12.21	REF

ARCHITECT
McINTOSH & PHELPS 02 9221 1401
LANDSCAPE ARCHITECT
McINTOSH & PHELPS 02 9221 1401
PLANNER, ACCESS CONSULTANT
CITY PLAN (02) 8279 3500

SERVICES, STRUCTURAL, CIVIL TRAFFIC NORTHROP CONSULTING ENGINEERS 02 9241 4188	
BCA CONSULTANT BLACKETT MAGUIRE + GOLDSMITH 02 9211 7777	

McINTOSH&PHELPS
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LANDSCAPE ARCHITECTURE

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info@mcintoshandphelps.com.au
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Nominated Architect
William Phelps JARA 6675
www.mcintoshandphelps.com.au

CLIENT

 **Planning,
Industry &
Environment**

NSW LAND AND HOUSING CORPORATION
12 DARCY ST, PARRAMATTA NSW 2150

NORTH



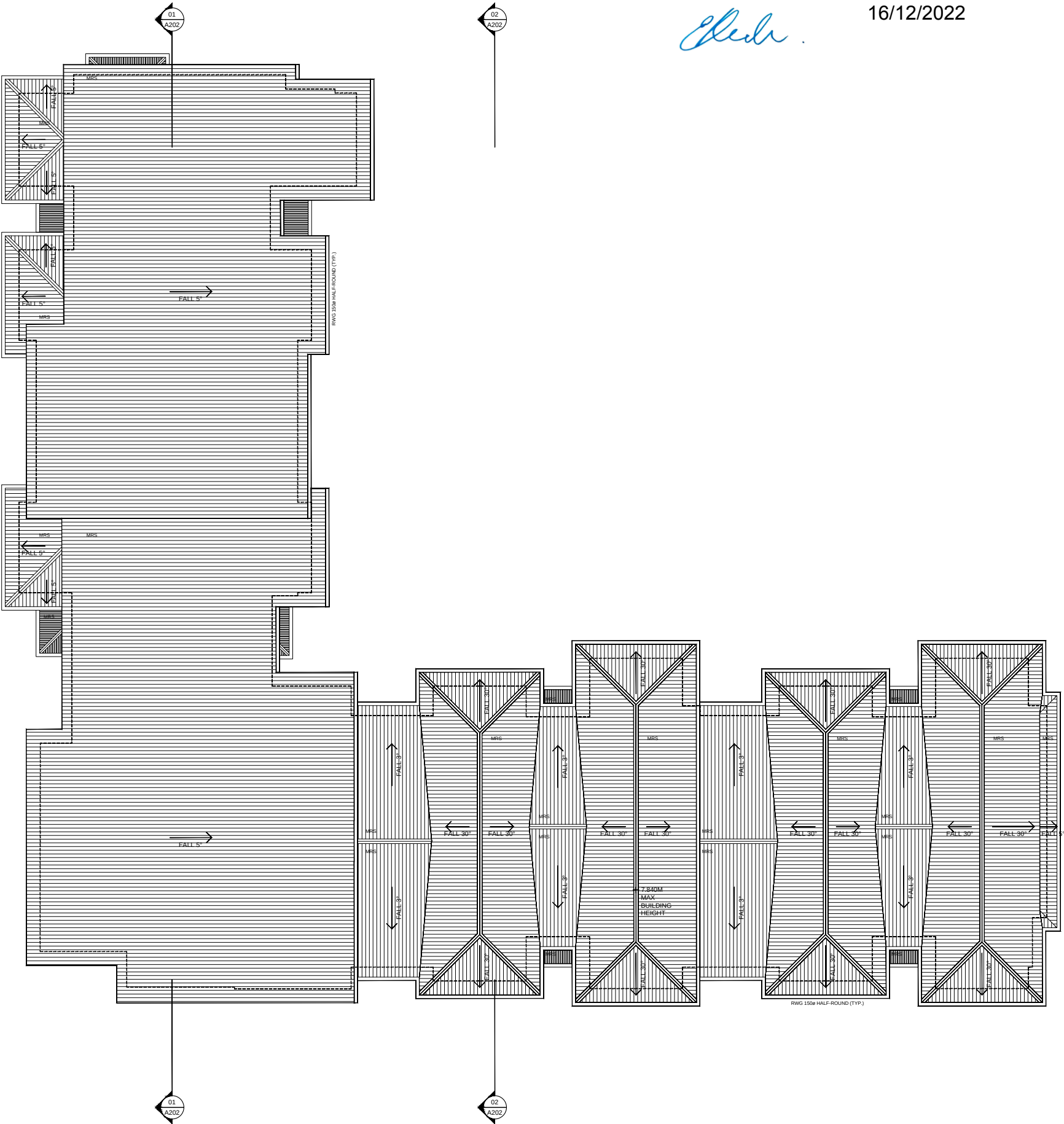
PROJECT 67 - 69 PIONEER ROAD 28 - 30 BRAMSEN STREET BELLAMBI NSW 2518
DRAWING TITLE FLOOR PLAN - LEVEL 1

SCALE @ A1 1:100	SCALE @ A3 1:200	CONTRACT NUMBER 00000000
DRAWN	VERIFIED WP/GM	SHEET NO A102
APPROVED TO ISSUE <i>W. Phelps</i>		ISSUE 1
WILLIAM PHELPS ARN 6675		

DETERMINED by the New South Wales Land & Housing Corporation on:

Chdr

16/12/2022



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BS BRICK
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CHECK ALL DIMENSIONS ON SITE

USE PROVIDED DIMENSIONS IN PREFERENCE TO SCALING

200MM

300MM ON ORIGINAL

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LANDSCAPE ARCHITECT
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ACCESS CONSULTANT
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ARCHITECT

DETERMINED by the New South Wales Land & Housing Corporation on:

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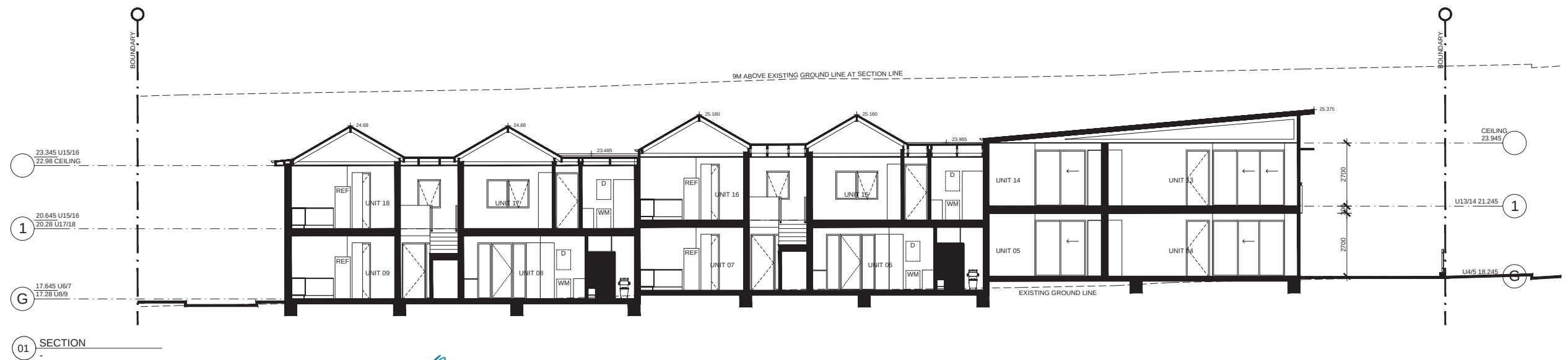
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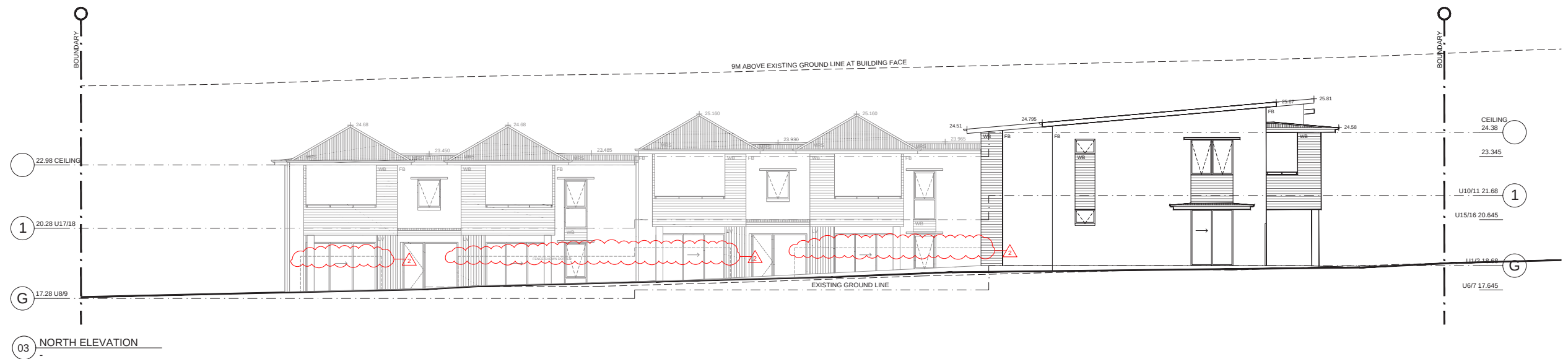
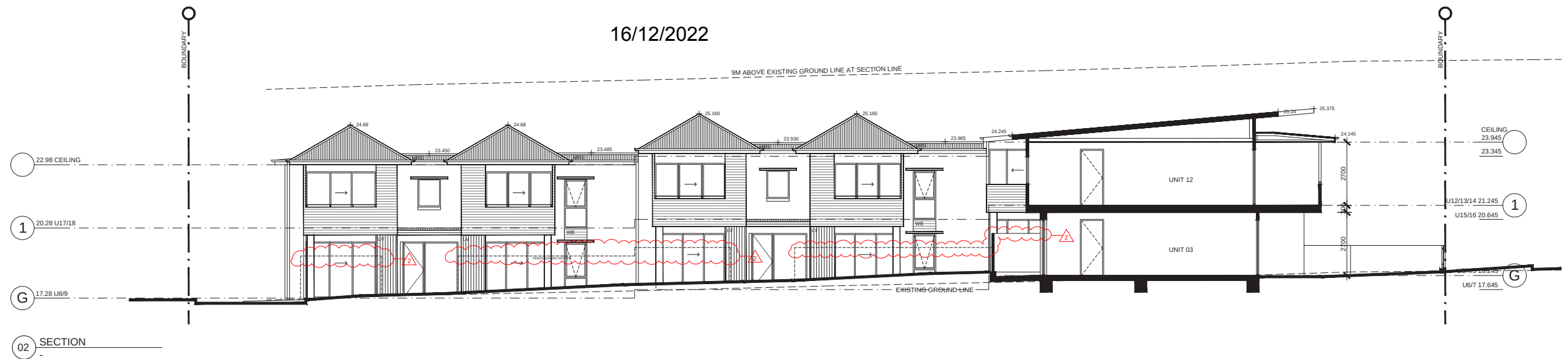
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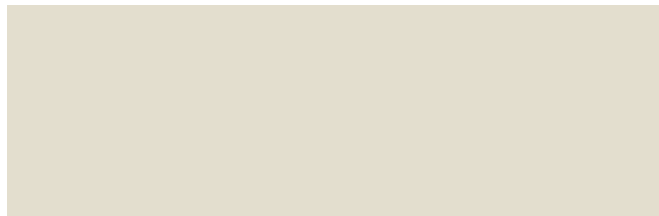
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16/12/2022





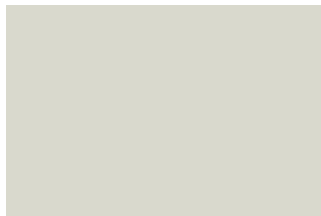
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Face brick
PGH Coastal Hamptons Crevole



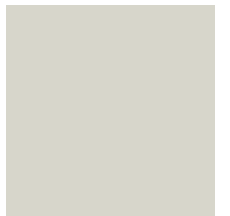
WB
James Hardie Scyon weatherboard cladding
Low sheen acrylic paint
Dulux China White



MRS, RWG, SH
Corrugated metal roof sheeting
Rainwater goods
Sunhoods
Colorbond Shale Grey



ALUM
Windows and sliding doors
Powdercoat
Dulux Off White Satin



F1a, F1b, F2
Metal picket fence
Colorbond Surfemist



F3
Boundary fence
Colorbond Monument

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MS	METAL STUD	TE	TRIMMER EDGE
MSB	MULTI-SWITCH BOARD	TE	TURF
OCF	OFF-CUT FLOOR	TE	TEXTILE GROUND SURFACE INDICATORS
PA	PARTIAL CONCRETE	TOP	TOP OF FIBER
PA	PAVED	TW	TOP OF WARE
PLY	PLYWOOD	UN	UNKNOWN NOTED OTHERWISE
PC	PRECAST CONCRETE	UR	URINAL
REF	RESIDENT FINISH	WS	WATER-DROPPED
REF	REFURBISHED LEVEL	WS	WHEEL STOP
RWG	RADIUMWAY CUTTER		
SC	SCAFFOLD GATE		
SM	SMALL		
SP	SPANNING POINT		
ST	STAINLESS STEEL		
UNP	UNCONCRETE PIT		
	WATER		

REVISION		
ISS	DATE	COMMENT
1	06.12.21	REF

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02 9221 1401
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ABN: 78 612 191 689
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www.mcintoshpshelps.com.au

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 **Planning,
Industry &
Environment**

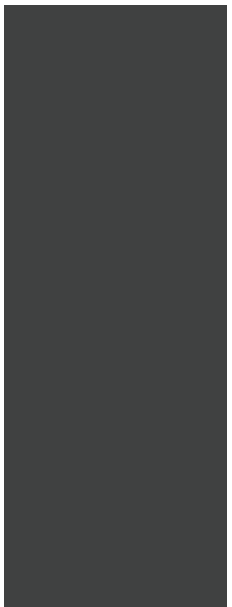
NSW LAND AND HOUSING CORPORATION
12 DARCY ST, PARRAMATTA NSW 2150

PROJECT
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28 - 30 BRAMSEN STREET
BELLAMBI NSW 2518

DRAWING TITLE
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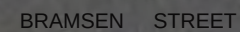
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F3
Boundary fence
Colorbond Monument

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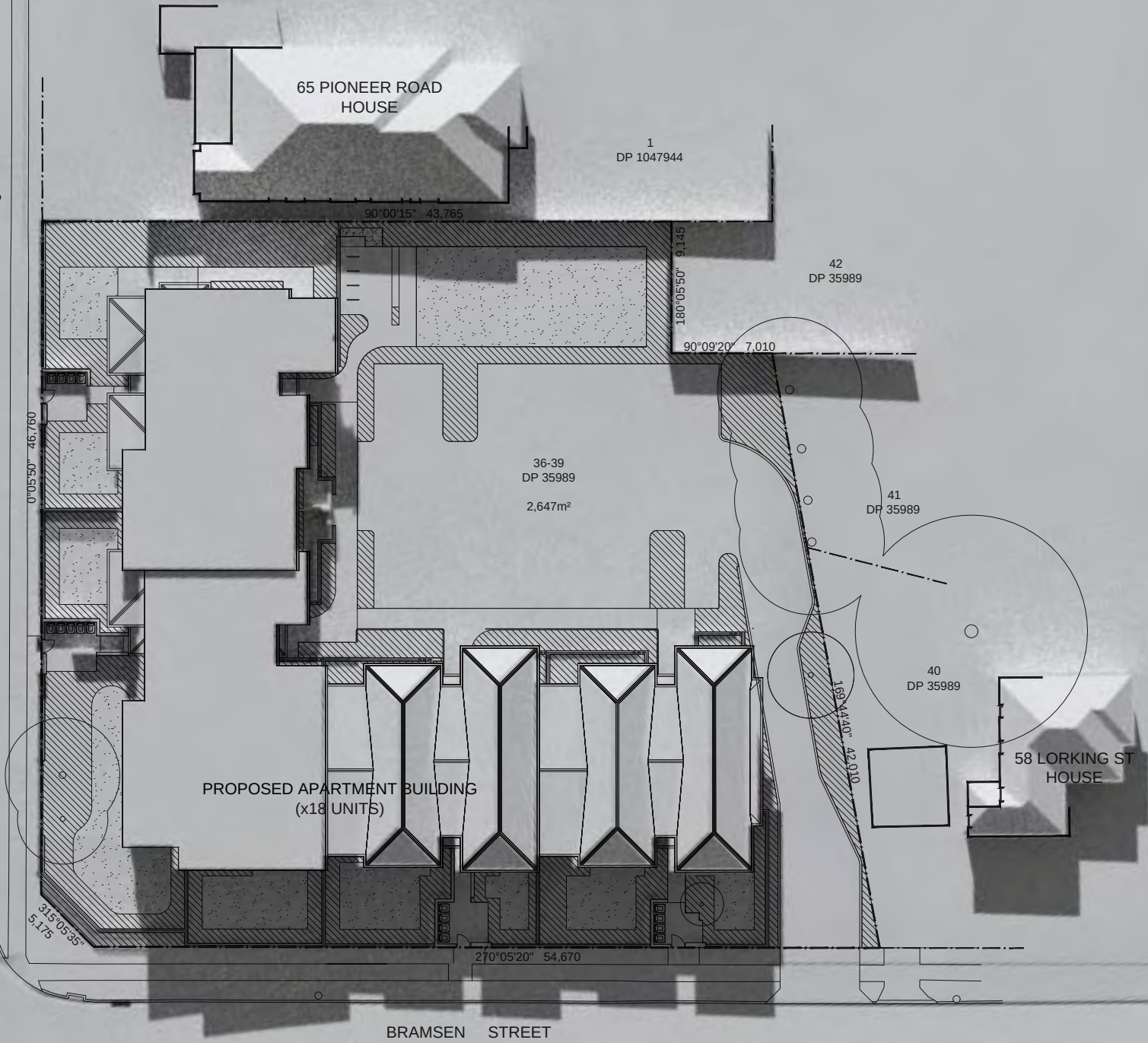


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16/12/2022



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LEGEND

AC	ALUMINIUM	CP	CONCRETE PAVING	FCL	FINISHED FLOOR LEVEL	MS	METAL SLAT	TE	TIMBER EDGE
AD	ADJUSTABLE	CR	CURB	FIR	FIRE RISE	MB	METAL BOARD	TF	TIMBER FLOOR
AL	ALUMINIUM	CS	CEMENT RENDER	FR	FIRE RISE	MC	METAL CONCRETE	TS	TIMBER SURFACE INDICATORS
AS	ASBESTOS	CT	CEMENT TILING	FW	FLAT WHITE	PC	PLYWOOD CONCRETE	TT	TIMBER TOP OF ROOF
BAL	BALUSTRADE	DC	DAMP PROOF COURSE	GA	GALVANISED	PL	PLYWOOD	UL	UNDER LAY
BAL2	BALUSTRADE TYPE 2	DD	DAMP PROOF DRAIN	GR	GRANULATED TOPPING	PR	PLYWOOD	US	UNDER SLAB
BK	BLOCK	DN	DRAIN	INS	INSULATION	RF	REFRIGERATOR	WS	WHEEL STOP
BK2	BLOCK TYPE 2	DP	DRAIN PIPING	IS	INSULATION	RR	REFRIGERATOR	WS2	WHEEL STOP
BK3	BLOCK TYPE 3	DS	DRAIN SINK	IS2	INSULATION	RS	REFRIGERATOR	WS3	WHEEL STOP
BK4	BLOCK TYPE 4	DT	DRAIN TIE	IS3	INSULATION	RT	REFRIGERATOR	WS4	WHEEL STOP
BK5	BLOCK TYPE 5	DU	DRAIN UPR	IS4	INSULATION	RU	REFRIGERATOR	WS5	WHEEL STOP
BK6	BLOCK TYPE 6	EV	ELECTRICAL	IS5	INSULATION	RV	REFRIGERATOR	WS6	WHEEL STOP
BK7	BLOCK TYPE 7	EX	ELECTRICAL	IS6	INSULATION	RW	REFRIGERATOR	WS7	WHEEL STOP
BK8	BLOCK TYPE 8	FX	ELECTRICAL	IS7	INSULATION	RW2	REFRIGERATOR	WS8	WHEEL STOP
BK9	BLOCK TYPE 9	FZ	FENCE	IS8	INSULATION	RW3	REFRIGERATOR	WS9	WHEEL STOP
BK10	BLOCK TYPE 10	GA	GALVANISED	IS9	INSULATION	RW4	REFRIGERATOR	WS10	WHEEL STOP
BK11	BLOCK TYPE 11	GB	GALVANISED	IS10	INSULATION	RW5	REFRIGERATOR	WS11	WHEEL STOP
BK12	BLOCK TYPE 12	GC	GALVANISED	IS11	INSULATION	RW6	REFRIGERATOR	WS12	WHEEL STOP
BK13	BLOCK TYPE 13	GD	GALVANISED	IS12	INSULATION	RW7	REFRIGERATOR	WS13	WHEEL STOP
BK14	BLOCK TYPE 14	GE	GALVANISED	IS13	INSULATION	RW8	REFRIGERATOR	WS14	WHEEL STOP
BK15	BLOCK TYPE 15	GF	GALVANISED	IS14	INSULATION	RW9	REFRIGERATOR	WS15	WHEEL STOP
BK16	BLOCK TYPE 16	GG	GALVANISED	IS15	INSULATION	RW10	REFRIGERATOR	WS16	WHEEL STOP
BK17	BLOCK TYPE 17	GH	GALVANISED	IS16	INSULATION	RW11	REFRIGERATOR	WS17	WHEEL STOP
BK18	BLOCK TYPE 18	GI	GALVANISED	IS17	INSULATION	RW12	REFRIGERATOR	WS18	WHEEL STOP
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BK20	BLOCK TYPE 20	GK	GALVANISED	IS19	INSULATION	RW14	REFRIGERATOR	WS20	WHEEL STOP
BK21	BLOCK TYPE 21	GL	GALVANISED	IS20	INSULATION	RW15	REFRIGERATOR	WS21	WHEEL STOP
BK22	BLOCK TYPE 22	GM	GALVANISED	IS21	INSULATION	RW16	REFRIGERATOR	WS22	WHEEL STOP
BK23	BLOCK TYPE 23	GN	GALVANISED	IS22	INSULATION	RW17	REFRIGERATOR	WS23	WHEEL STOP
BK24	BLOCK TYPE 24	GO	GALVANISED	IS23	INSULATION	RW18	REFRIGERATOR	WS24	WHEEL STOP
BK25	BLOCK TYPE 25	GP	GALVANISED	IS24	INSULATION	RW19	REFRIGERATOR	WS25	WHEEL STOP
BK26	BLOCK TYPE 26	GQ	GALVANISED	IS25	INSULATION	RW20	REFRIGERATOR	WS26	WHEEL STOP
BK27	BLOCK TYPE 27	GR	GALVANISED	IS26	INSULATION	RW21	REFRIGERATOR	WS27	WHEEL STOP
BK28	BLOCK TYPE 28	GS	GALVANISED	IS27	INSULATION	RW22	REFRIGERATOR	WS28	WHEEL STOP
BK29	BLOCK TYPE 29	GT	GALVANISED	IS28	INSULATION	RW23	REFRIGERATOR	WS29	WHEEL STOP
BK30	BLOCK TYPE 30	GU	GALVANISED	IS29	INSULATION	RW24	REFRIGERATOR	WS30	WHEEL STOP
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BK33	BLOCK TYPE 33	GX	GALVANISED	IS32	INSULATION	RW27	REFRIGERATOR	WS33	WHEEL STOP
BK34	BLOCK TYPE 34	GY	GALVANISED	IS33	INSULATION	RW28	REFRIGERATOR	WS34	WHEEL STOP
BK35	BLOCK TYPE 35	GZ	GALVANISED	IS34	INSULATION	RW29	REFRIGERATOR	WS35	WHEEL STOP
BK36	BLOCK TYPE 36	HA	HARDWARE	IS35	INSULATION	RW30	REFRIGERATOR	WS36	WHEEL STOP
BK37	BLOCK TYPE 37	HB	HARDWARE	IS36	INSULATION	RW31	REFRIGERATOR	WS37	WHEEL STOP
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BK39	BLOCK TYPE 39	HD	HARDWARE	IS38	INSULATION	RW33	REFRIGERATOR	WS39	WHEEL STOP
BK40	BLOCK TYPE 40	HE	HARDWARE	IS39	INSULATION	RW34	REFRIGERATOR	WS40	WHEEL STOP
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BK42	BLOCK TYPE 42	HG	HARDWARE	IS41	INSULATION	RW36	REFRIGERATOR	WS42	WHEEL STOP
BK43	BLOCK TYPE 43	HH	HARDWARE	IS42	INSULATION	RW37	REFRIGERATOR	WS43	WHEEL STOP
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BK45	BLOCK TYPE 45	HJ	HARDWARE	IS44	INSULATION	RW39	REFRIGERATOR	WS45	WHEEL STOP
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BK47	BLOCK TYPE 47	HL	HARDWARE	IS46	INSULATION	RW41	REFRIGERATOR	WS47	WHEEL STOP
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BK49	BLOCK TYPE 49	HN	HARDWARE	IS48	INSULATION	RW43	REFRIGERATOR	WS49	WHEEL STOP
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BK62	BLOCK TYPE 62	IA	IRON	IS61	INSULATION	RW56	REFRIGERATOR	WS62	WHEEL STOP
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BK68	BLOCK TYPE 68	IG	IRON	IS67	INSULATION	RW62	REFRIGERATOR	WS68	WHEEL STOP
BK69	BLOCK TYPE 69	IH	IRON	IS68	INSULATION	RW63	REFRIGERATOR	WS69	WHEEL STOP
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BK72	BLOCK TYPE 72	IK	IRON	IS71	INSULATION	RW66	REFRIGERATOR	WS72	WHEEL STOP
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BK75	BLOCK TYPE 75	IN	IRON	IS74	INSULATION	RW69	REFRIGERATOR	WS75	WHEEL STOP
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BK77	BLOCK TYPE 77	IP	IRON	IS76	INSULATION	RW71	REFRIGERATOR	WS77	WHEEL STOP
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BK80	BLOCK TYPE 80	IS	IRON	IS79	INSULATION	RW74	REFRIGERATOR	WS80	WHEEL STOP
BK81	BLOCK TYPE 81	IT	IRON	IS80	INSULATION	RW75	REFRIGERATOR	WS81	WHEEL STOP
BK82	BLOCK TYPE 82	IU	IRON	IS81	INSULATION	RW76	REFRIGERATOR	WS82	WHEEL STOP
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BK85	BLOCK TYPE 85	IX	IRON	IS84	INSULATION	RW79	REFRIGERATOR	WS85	WHEEL STOP
BK86	BLOCK TYPE 86	IY	IRON	IS85	INSULATION	RW80	REFRIGERATOR	WS86	WHEEL STOP
BK87	BLOCK TYPE 87	IZ	IRON	IS86	INSULATION	RW81	REFRIGERATOR	WS87	WHEEL STOP
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BK92	BLOCK TYPE 92	JE	JAPANESE	IS91	INSULATION	RW86	REFRIGERATOR	WS92	WHEEL STOP
BK93	BLOCK TYPE 93	JF	JAPANESE	IS92	INSULATION	RW87	REFRIGERATOR	WS93	WHEEL STOP
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BK95	BLOCK TYPE 95	JH	JAPANESE	IS94	INSULATION	RW89	REFRIGERATOR	WS95	WHEEL STOP
BK96	BLOCK TYPE 96	JI	JAPANESE	IS95	INSULATION	RW90	REFRIGERATOR	WS96	WHEEL STOP
BK97	BLOCK TYPE 97	JJ	JAPANESE	IS96	INSULATION	RW91	REFRIGERATOR	WS97	WHEEL STOP
BK98	BLOCK TYPE 98	JK	JAPANESE	IS97	INSULATION	RW92	REFRIGERATOR	WS98	WHEEL STOP
BK99	BLOCK TYPE 99	JL	JAPANESE	IS98	INSULATION	RW93	REFRIGERATOR	WS99	WHEEL STOP
BK100	BLOCK TYPE 100	JM	JAPANESE	IS99	INSULATION	RW94	REFRIGERATOR	WS100	WHEEL STOP

REVISION	ISS	DATE	COMMENT
1	06.12.23	REF	

ARCHITECT
McINTOSH & PHELPS
LANDSCAPE ARCHITECTURE

SERVICES, STRUCTURAL, CIVIL
TRAFFIC
McINTOSH & PHELPS
LANDSCAPE ARCHITECTURE

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NEW LAND AND HOUSING CORPORATION
12 GARDY ST. PARRAMATTA NSW 2150

PLANNER
ACCESS CONSULTANT
CITY PLAN
02 8203 3500

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ABN: 78 612 181 689
Nominated Architect
William Phelps ARN 6675
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CLIENT
 Planning, Industry & Environment

NORTH

PROJECT
67 - 69 PIONEER ROAD
28 - 30 BRAMSEN STREET
BELLAMBI NSW 2518

SHADOW DIAGRAM
- 21 JUNE 12:00

SCALE @ A1
1:200

SCALE @ A3
1:400

CONTRACT NUMBER
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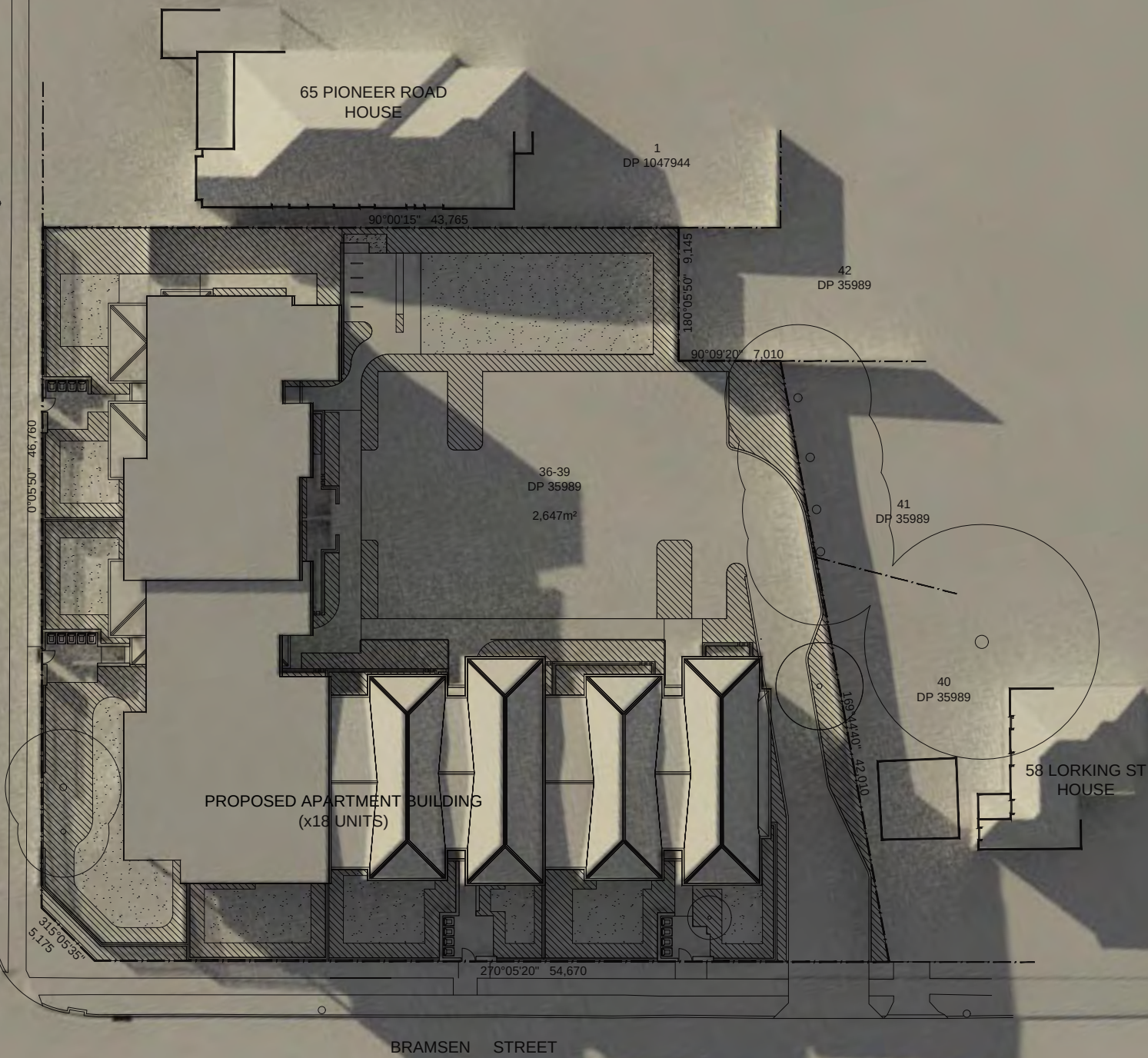
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ISSUE
1

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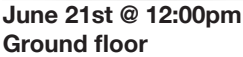
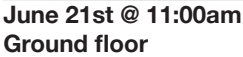
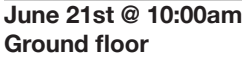
16/12/2022

Chick



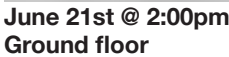
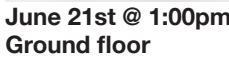
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LEGEND	SYMBOL	DESCRIPTION
AC	CONCRETE	CONCRETE
AD	ADJUSTABLE	ADJUSTABLE
AL	ALUMINUM	ALUMINUM
AS	ASBESTOS	ASBESTOS
BA	BALUSTRADE	BALUSTRADE
BS	BENCH SEAT	BENCH SEAT
CA	CANOPY	CANOPY
CB	CERAMIC	CERAMIC
CC	CEILING	CEILING
CD	CEILING DETAIL	CEILING DETAIL
CE	CEILING LINE	CEILING LINE
CF	CEILING FINISH	CEILING FINISH
CG	CEILING GRID	CEILING GRID
CH	CEILING HANGING	CEILING HANGING
CI	CEILING INSULATION	CEILING INSULATION
CJ	CEILING JOINT	CEILING JOINT
CK	CEILING KEY	CEILING KEY
CL	CEILING LIGHT	CEILING LIGHT
CM	CEILING MATERIAL	CEILING MATERIAL
CN	CEILING NOTCH	CEILING NOTCH
CO	CEILING OUTLET	CEILING OUTLET
CP	CEILING PANEL	CEILING PANEL
CQ	CEILING QUOTE	CEILING QUOTE
CR	CEILING RAIL	CEILING RAIL
CS	CEILING SILL	CEILING SILL
CT	CEILING TIE	CEILING TIE
CU	CEILING UPRIG	CEILING UPRIG
CV	CEILING VENT	CEILING VENT
CW	CEILING WIRE	CEILING WIRE
CX	CEILING X-TRA	CEILING X-TRA
CY	CEILING Y-TRA	CEILING Y-TRA
CZ	CEILING Z-TRA	CEILING Z-TRA
DA	DAINTY	DAINTY
DB	DAINTY DETAIL	DAINTY DETAIL
DC	DAINTY LINE	DAINTY LINE
DD	DAINTY MATERIAL	DAINTY MATERIAL
DE	DAINTY NOTCH	DAINTY NOTCH
DF	DAINTY OUTLET	DAINTY OUTLET
DG	DAINTY PANEL	DAINTY PANEL
DH	DAINTY QUOTE	DAINTY QUOTE
DI	DAINTY RAIL	DAINTY RAIL
DJ	DAINTY SILL	DAINTY SILL
DK	DAINTY TIE	DAINTY TIE
DL	DAINTY UPRIG	DAINTY UPRIG
DM	DAINTY VENT	DAINTY VENT
DN	DAINTY WIRE	DAINTY WIRE
DO	DAINTY X-TRA	DAINTY X-TRA
DP	DAINTY Y-TRA	DAINTY Y-TRA
DQ	DAINTY Z-TRA	DAINTY Z-TRA
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DS	DAINTY LINE	DAINTY LINE
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DU	DAINTY NOTCH	DAINTY NOTCH
DV	DAINTY OUTLET	DAINTY OUTLET
DW	DAINTY PANEL	DAINTY PANEL
DX	DAINTY QUOTE	DAINTY QUOTE
DY	DAINTY RAIL	DAINTY RAIL
DZ	DAINTY SILL	DAINTY SILL
EA	EA DRAIN	EA DRAIN
EB	EA DRAIN DETAIL	EA DRAIN DETAIL
EC	EA DRAIN LINE	EA DRAIN LINE
ED	EA DRAIN MATERIAL	EA DRAIN MATERIAL
EE	EA DRAIN NOTCH	EA DRAIN NOTCH
EF	EA DRAIN OUTLET	EA DRAIN OUTLET
EG	EA DRAIN PANEL	EA DRAIN PANEL
EH	EA DRAIN QUOTE	EA DRAIN QUOTE
EI	EA DRAIN RAIL	EA DRAIN RAIL
EJ	EA DRAIN SILL	EA DRAIN SILL
EK	EA DRAIN TIE	EA DRAIN TIE
EL	EA DRAIN UPRIG	EA DRAIN UPRIG
EM	EA DRAIN VENT	EA DRAIN VENT
EN	EA DRAIN WIRE	EA DRAIN WIRE
EO	EA DRAIN X-TRA	EA DRAIN X-TRA
EP	EA DRAIN Y-TRA	EA DRAIN Y-TRA
EQ	EA DRAIN Z-TRA	EA DRAIN Z-TRA
ER	EA DRAIN DETAIL	EA DRAIN DETAIL
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EY	EA DRAIN RAIL	EA DRAIN RAIL
EZ	EA DRAIN SILL	EA DRAIN SILL
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FB	FA DRAIN DETAIL	FA DRAIN DETAIL
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FH	FA DRAIN QUOTE	FA DRAIN QUOTE
FI	FA DRAIN RAIL	FA DRAIN RAIL
FJ	FA DRAIN SILL	FA DRAIN SILL
FK	FA DRAIN TIE	FA DRAIN TIE
FL	FA DRAIN UPRIG	FA DRAIN UPRIG
FM	FA DRAIN VENT	FA DRAIN VENT
FN	FA DRAIN WIRE	FA DRAIN WIRE
FO	FA DRAIN X-TRA	FA DRAIN X-TRA
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IJ	IA DRAIN SILL	IA DRAIN SILL
IK	IA DRAIN TIE	IA DRAIN TIE
IL	IA DRAIN UPRIG	IA DRAIN UPRIG
IM	IA DRAIN VENT	IA DRAIN VENT
IN	IA DRAIN WIRE	IA DRAIN WIRE
IO	IA DRAIN X-TRA	IA DRAIN X-TRA
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JI	JA DRAIN RAIL	JA DRAIN RAIL
JJ	JA DRAIN SILL	JA DRAIN SILL
JK	JA DRAIN TIE	JA DRAIN TIE
JL	JA DRAIN UPRIG	JA DRAIN UPRIG
JM	JA DRAIN VENT	JA DRAIN VENT
JN	JA DRAIN WIRE	JA DRAIN WIRE
JO	JA DRAIN X-TRA	JA DRAIN X-TRA
JP	JA DRAIN Y-TRA	JA DRAIN Y-TRA
JQ	JA DRAIN Z-TRA	JA DRAIN Z-TRA
JR	JA DRAIN DETAIL	JA DRAIN DETAIL
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JT	JA DRAIN MATERIAL	JA DRAIN MATERIAL
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KB	KA DRAIN DETAIL	KA DRAIN DETAIL
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KM	KA DRAIN VENT	KA DRAIN VENT
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KO	KA DRAIN X-TRA	KA DRAIN X-TRA
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KV	KA DRAIN OUTLET	KA DRAIN OUTLET
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KX	KA DRAIN QUOTE	KA DRAIN QUOTE
KY	KA DRAIN RAIL	KA DRAIN RAIL
KZ	KA DRAIN SILL	KA DRAIN SILL
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LD	LA DRAIN MATERIAL	LA DRAIN MATERIAL
LE	LA DRAIN NOTCH	LA DRAIN NOTCH
LF	LA DRAIN OUTLET	LA DRAIN OUTLET
LG	LA DRAIN PANEL	LA DRAIN PANEL
LH	LA DRAIN QUOTE	LA DRAIN QUOTE
LI	LA DRAIN RAIL	LA DRAIN RAIL
LJ	LA DRAIN SILL	LA DRAIN SILL
LK	LA DRAIN TIE	LA DRAIN TIE
LL	LA DRAIN UPRIG	LA DRAIN UPRIG
LM	LA DRAIN VENT	LA DRAIN VENT
LN	LA DRAIN WIRE	LA DRAIN WIRE
LO	LA DRAIN X-TRA	LA DRAIN X-TRA
LP	LA DRAIN Y-TRA	LA DRAIN Y-TRA
LQ	LA DRAIN Z-TRA	LA DRAIN Z-TRA
LR	LA DRAIN DETAIL	LA DRAIN DETAIL
LS	LA DRAIN LINE	LA DRAIN LINE
LT	LA DRAIN MATERIAL	LA DRAIN MATERIAL
LU	LA DRAIN NOTCH	LA DRAIN NOTCH
LV	LA DRAIN OUTLET	LA DRAIN OUTLET
LW	LA DRAIN PANEL	LA DRAIN PANEL
LX	LA DRAIN QUOTE	LA DRAIN QUOTE
LY	LA DRAIN RAIL	LA DRAIN RAIL
LZ	LA DRAIN SILL	LA DRAIN SILL
MA	MA DRAIN	MA DRAIN
MB	MA DRAIN DETAIL	MA DRAIN DETAIL
MC	MA DRAIN LINE	MA DRAIN LINE
MD	MA DRAIN MATERIAL	MA DRAIN MATERIAL
ME	MA DRAIN NOTCH	MA DRAIN NOTCH
MF	MA DRAIN OUTLET	MA DRAIN OUTLET
MG	MA DRAIN PANEL	MA DRAIN PANEL
MH	MA DRAIN QUOTE	MA DRAIN QUOTE
MI	MA DRAIN RAIL	MA DRAIN RAIL
MJ	MA DRAIN SILL	MA DRAIN SILL
MK	MA DRAIN TIE	MA DRAIN TIE
ML	MA DRAIN UPRIG	MA DRAIN UPRIG
MM	MA DRAIN VENT	MA DRAIN VENT
MN	MA DRAIN WIRE	MA DRAIN WIRE
MO	MA DRAIN X-TRA	MA DRAIN X-TRA
MP	MA DRAIN Y-TRA	MA DRAIN Y-TRA
MQ	MA DRAIN Z-TRA	MA DRAIN Z-TRA
MR	MA DRAIN DETAIL	MA DRAIN DETAIL
MS	MA DRAIN LINE	MA DRAIN LINE
MT	MA DRAIN MATERIAL	MA DRAIN MATERIAL
MU	MA DRAIN NOTCH	MA DRAIN NOTCH
MV	MA DRAIN OUTLET	MA DRAIN OUTLET
MW	MA DRAIN PANEL	MA DRAIN PANEL
MX	MA DRAIN QUOTE	MA DRAIN QUOTE
MY	MA DRAIN RAIL	MA DRAIN RAIL
MZ	MA DRAIN SILL	MA DRAIN SILL
NA	NA DRAIN	NA DRAIN
NB	NA DRAIN DETAIL	NA DRAIN DETAIL
NC	NA DRAIN LINE	NA DRAIN LINE
ND	NA DRAIN MATERIAL	NA DRAIN MATERIAL
NE	NA DRAIN NOTCH	NA DRAIN NOTCH
NF	NA DRAIN OUTLET	NA DRAIN OUTLET
NG	NA DRAIN PANEL	NA DRAIN PANEL
NH	NA DRAIN QUOTE	NA DRAIN QUOTE
NI	NA DRAIN RAIL	NA DRAIN RAIL
NJ	NA DRAIN SILL	NA DRAIN SILL
NK	NA DRAIN TIE	NA DRAIN TIE
NL	NA DRAIN UPRIG	NA DRAIN UPRIG
NM	NA DRAIN VENT	NA DRAIN VENT
NO	NA DRAIN WIRE	NA DRAIN WIRE
NP	NA DRAIN X-TRA	NA DRAIN X-TRA
NQ	NA DRAIN Y-TRA	NA DRAIN Y-TRA
NR	NA DRAIN Z-TRA	NA DRAIN Z-TRA
NS	NA DRAIN DETAIL	NA DRAIN DETAIL
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NY	NA DRAIN QUOTE	NA DRAIN QUOTE
NZ	NA DRAIN RAIL	NA DRAIN RAIL
OA	OA DRAIN	OA DRAIN
OB	OA DRAIN DETAIL	OA DRAIN DETAIL
OC	OA DRAIN LINE	OA DRAIN LINE
OD	OA DRAIN MATERIAL	OA DRAIN MATERIAL
OE	OA DRAIN NOTCH	OA DRAIN NOTCH
OF	OA DRAIN OUTLET	OA DRAIN OUTLET
OG	OA DRAIN PANEL	OA DRAIN PANEL
OH	OA DRAIN QUOTE	OA DRAIN QUOTE
OI	OA DRAIN RAIL	OA DRAIN RAIL
OJ	OA DRAIN SILL	OA DRAIN SILL
OK	OA DRAIN TIE	OA DRAIN TIE
OL	OA DRAIN UPRIG	OA DRAIN UPRIG
OM	OA DRAIN VENT	OA DRAIN VENT
ON	OA DRAIN WIRE	OA DRAIN WIRE
OO	OA DRAIN X-TRA	OA DRAIN X-TRA
OP	OA DRAIN Y-TRA	OA DRAIN Y-TRA
OQ	OA DRAIN Z-TRA	OA DRAIN Z-TRA
OR	OA DRAIN DETAIL	OA DRAIN DETAIL
OS	OA DRAIN LINE	OA DRAIN LINE
OT	OA DRAIN MATERIAL	OA DRAIN MATERIAL
OU	OA DRAIN NOTCH	OA DRAIN NOTCH
OV	OA DRAIN OUTLET	OA DRAIN OUTLET
OW	OA DRAIN PANEL	OA DRAIN PANEL
OX	OA DRAIN QUOTE	OA DRAIN QUOTE
OY	OA DRAIN RAIL	OA DRAIN RAIL
OZ	OA DRAIN SILL	OA DRAIN SILL
PA	PA DRAIN	PA DRAIN
PB	PA DRAIN DETAIL	PA DRAIN DETAIL
PC	PA DRAIN LINE	PA DRAIN LINE
PD	PA DRAIN MATERIAL	PA DRAIN MATERIAL
PE	PA DRAIN NOTCH	PA DRAIN NOTCH
PF	PA DRAIN OUTLET	PA DRAIN OUTLET
PG	PA DRAIN PANEL	PA DRAIN PANEL
PH	PA DRAIN QUOTE	PA DRAIN QUOTE
PI	PA DRAIN RAIL	PA DRAIN RAIL
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PP	PA DRAIN Y-TRA	PA DRAIN Y-TRA
PQ	PA DRAIN Z-TRA	PA DRAIN Z-TRA
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PS	PA DRAIN LINE	PA DRAIN LINE
PT	PA DRAIN MATERIAL	PA DRAIN MATERIAL
PU	PA DRAIN NOTCH	PA DRAIN NOTCH
PV	PA DRAIN OUTLET	PA DRAIN OUTLET
PW	PA DRAIN PANEL	PA DRAIN PANEL
PX	PA DRAIN QUOTE	PA DRAIN QUOTE
PY	PA DRAIN RAIL	PA DRAIN RAIL
PZ	PA DRAIN SILL	PA DRAIN SILL
QA	QA DRAIN	QA DRAIN
QB	QA DRAIN DETAIL	QA DRAIN DETAIL
QC	QA DRAIN LINE	QA DRAIN LINE
QD	QA DRAIN MATERIAL	QA DRAIN MATERIAL
QE	QA DRAIN NOTCH	QA DRAIN NOTCH
QF	QA DRAIN OUTLET	QA DRAIN OUTLET
QG	QA DRAIN PANEL	QA DRAIN PANEL
QH	QA DRAIN QUOTE	QA DRAIN QUOTE
QI	QA DRAIN RAIL	QA DRAIN RAIL
QJ	QA DRAIN SILL	QA DRAIN SILL
QK	QA DRAIN TIE	QA DRAIN TIE
QL	QA DRAIN UPRIG	QA DRAIN UPRIG
QM	QA DRAIN VENT	QA DRAIN VENT
QN	QA DRAIN WIRE	QA DRAIN WIRE
QO	QA DRAIN X-TRA	QA DRAIN X-TRA
QP	QA DRAIN Y-TRA	QA DRAIN Y-TRA
QQ	QA DRAIN Z-TRA	QA DRAIN Z-TRA
QR	QA DRAIN DETAIL	QA DRAIN DETAIL
QS	QA DRAIN LINE	QA DRAIN LINE
QT	QA DRAIN MATERIAL	QA DRAIN MATERIAL
QU	QA DRAIN NOTCH	QA DRAIN NOTCH
QV	QA DRAIN OUTLET	QA DRAIN OUTLET
QW	QA DRAIN PANEL	QA DRAIN PANEL
QX	QA DRAIN QUOTE	QA DRAIN QUOTE
QY	QA DRAIN RAIL	QA DRAIN RAIL
QZ	QA DRAIN SILL	QA DRAIN SILL
RA	RA DRAIN	RA DRAIN
RB	RA DRAIN DETAIL	RA DRAIN DETAIL
RC	RA DRAIN LINE	RA DRAIN LINE
RD	RA DRAIN MATERIAL	RA DRAIN MATERIAL
RE	RA DRAIN NOTCH	RA DRAIN NOTCH
RF	RA DRAIN OUTLET	RA DRAIN OUTLET
RG	RA DRAIN PANEL	RA DRAIN PANEL
RH	RA DRAIN QUOTE	RA DRAIN QUOTE
RI	RA DRAIN RAIL	RA DRAIN RAIL



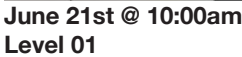
DETERMINED by the New South Wales Land & Housing Corporation on:

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16/12/2022

[illegible]



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DETERMINED by the New South Wales Land & Housing Corporation on:

16/12/2022



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[illegible]

MS	METAL SHIELD	TE	TIMBER EDGE
MSP	MOBILE BOARD	TEB	TIMBER
MP	MOBILE PLATE	TGS	TACTILE GROUND SURFACE INDICATORS
MR	METAL FROM CONCRETE	TOS	TOP OF STEEL
PA	PAVING	TP	TOP OF WALL
PB	PAVING BOARD	TPD	TOP OF WALL OTHERWISE
PL	PLYWOOD	WB	WEATHERBOARD
PC	PRECAST CONCRETE	WC	WATER CLOSET
REF	REFLECT	WS	WHEEL STOP
RI	REINFORCED IRON		
RM	REINFORCED MASONRY		
RW	RAINWATER GUTTER		
SD	SEALANT		
SH	SHOULDER POINT		
SP	SPRINKLING POINT		
ST	STEEL		
TOW	TOWEL		
TRW	TRENCH WATER PIT		

REVISION		
ISS	DATE	COMMENT
1	06.12.21	REF

ARCHITECT GINTOSH & PHELPS 92 9221 1401	SERVICES, STRUCTURAL, CIVIL TRAFFIC NORTHROP CONSULTING ENGINEERS 92 9241 4388
LANDSCAPE ARCHITECT GINTOSH & PHELPS 92 9221 1401	BCA CONSULTANT BLACKETT MAGUIRE + GOLDSMITH 92 9211 7777
PLANNER, ACCESS CONSULTANT TILLY PLAN 1 8770 3500	

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Nominated Architect
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www.mcintoshphelps.com.au

CLIENT  Planning, Industry & Environment NSW LAND AND HOUSING CORPORATION 2 DARCY ST, PARRAMATTA NSW 2150	NORTH 
--	--

PROJECT 67 - 69 PIONEER ROAD 28 - 30 BRAMSEN STREET BELLAMBI NSW 2518	DRAWING TITLE SOLAR ACCESS PLANS - LEVEL 1
--	---

SCALE @ A1 NTS	SCALE @ A3 NTS	CONTRACT NUMBER 00000000
DRAWN	VERIFIED WP/GM	SHEET NO A505
APPROVED TO ISSUE <i>WPH</i>		ISSUE 1
WILLIAM PHELPS ARN 6675		



DETERMINED by the New South Wales Land & Housing Corporation on:

Heck



16/12/2022

[illegible]

Check.

	9:00 am	10:00 am	11:00 am	12:00 pm	13:00 pm	14:00 pm	15:00 pm	3 hours
Ground								
1		✓	✓	✓	✓	✓	✓	✓
2	✓					✓	✓	
3	✓	✓				✓	✓	
4				✓	✓	✓	✓	✓
5	✓	✓	✓					
6	✓	✓	✓	✓	✓			✓
7	✓	✓	✓	✓	✓	✓		✓
8	✓	✓	✓	✓	✓	✓	✓	✓
9	✓	✓	✓	✓	✓	✓		✓
Level 1								
10	✓	✓	✓	✓	✓	✓	✓	✓
11		✓					✓	
12		✓					✓	
13			✓	✓	✓	✓	✓	✓
14	✓	✓	✓	✓	✓			✓
15	✓	✓	✓	✓	✓	✓		✓
16	✓	✓	✓	✓	✓	✓		✓
17	✓	✓	✓	✓	✓	✓		✓
18	✓	✓	✓	✓	✓	✓		✓
TOTAL QTY								13
TOTAL %								72%

	9:00 am	10:00 am	11:00 am	12:00 pm	13:00 pm	14:00 pm	15:00 pm	3 hours
Ground	✓	✓	✓	✓	✓	✓	✓	✓
1	✓	✓	✓	✓	✓	✓	✓	✓
2	✓	✓	✓	✓	✓	✓	✓	
3	✓	✓	✓	✓	✓	✓	✓	
4		✓	✓	✓	✓	✓	✓	✓
5	✓	✓	✓				✓	
6	✓	✓	✓	✓	✓			✓
7	✓	✓	✓	✓	✓	✓		✓
8	✓	✓	✓	✓	✓	✓	✓	✓
9	✓	✓	✓	✓	✓	✓	✓	✓
Level 1								
10		✓	✓	✓	✓	✓	✓	✓
11					✓	✓	✓	
12				✓	✓	✓	✓	
13				✓	✓	✓	✓	✓
14	✓	✓	✓	✓	✓			✓
15	✓	✓	✓	✓	✓	✓		✓
16		✓	✓	✓	✓	✓	✓	✓
17	✓	✓	✓	✓	✓	✓	✓	✓
18		✓	✓	✓	✓	✓	✓	✓
TOTAL QTY								13
TOTAL %								72%

✓	Sunlight received
✓*	Sunlight measured 1m above FFL
✓	Sunlight received to both living area and POS
✓	Sunlight received to both living area and POS for min 3 hours

REVISION		
ISS	DATE	COMMENT
1	06.12.21	REF
2	24.10.22	REF REVISIONS

ARCHITECT
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02 9221 1401
LANDSCAPE ARCHITECT
McINTOSH & PHELPS
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PLANNER, ACCESS CONSULTANT
CITY PLAN
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BCA CONSULTANT BLACKETT MAGUIRE + GOLDSMITH 02 9211 7777	

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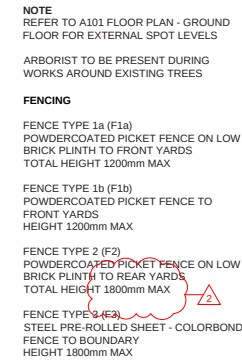
NORTH

PROJECT	67 - 69 PIONEER ROAD 28 - 30 BRAMSEN STREET BELLAMBI NSW 2518
DRAWING TITLE	SOLAR ACCESS SUMMARY TABLE

SCALE @ A1 NTS	SCALE @ A3 NTS	CONTRACT NUMBER 00000000
DRAWN	VERIFIED WP/GM	SHEET NO A507
APPROVED TO ISSUE <i>W Phelps</i>		ISSUE 2
WILLIAM PHELPS ARN 6675		

Check.

Check.



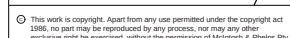
FENCING

FENCE TYPE 1b (F1b)
POWDERCOATED PICKET FENCE TO
FRONT YARDS
HEIGHT 1200mm MAX

FENCE TYPE 2 (F2)
POWDERCOATED PICKET FENCE ON LOW
BRICK PLINTH TO REAR YARDS
TOTAL HEIGHT 1800mm MAX

FENCE TYPE 2 (F2)
STEEL PRE-ROLLED SHEET - COLORBOND
FENCE TO BOUNDARY
HEIGHT 1800mm MAX

SCALE @ A1 1:200	SCALE @ A3 1:400	CONTRACT NUMBER 00000000
DRAWN	VERIFIED WP/GM	SHEET NO A601
APPROVED TO ISSUE <i>WPHelps</i> WILLIAM PHELPS ARN 6675		ISSUE 2



	TURF		NEW TREE PLANTING G3 GENERAL SPECIES REFER PLANTING SCHEDULE
	MP MASS PLANTING - GROUNDCOVER	<u>18,000</u>	EXISTING CONTOURS
	SP SCREEN / SHRUB PLANTING	+ 18,000	PROPOSED CONTOURS
	TREES TO BE RETAINED EX. 1+ (REFER ARBORIST REPORT)	+ 18,000	EXISTING SPOT LEVELS
	TREES TO BE REMOVED	+ 18,000	PROPOSED SPOT LEVELS
	PP PERMEABLE PAVING FILTERPAVE FOR LIGHT VEHICLES		

ARCHITECT McINTOSH & PHELPS 02 9221 1401	
LANDSCAPE ARCHITECT McINTOSH & PHELPS 02 9221 1401	
PLANNER, ACCESS CONSULTANT CITY PLAN 02 8270 3500	

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NORTH



50

ROAD
I STREET
518

SCALE @ A1 1:100	SCALE @ A3 1:200	CONTRACT NUMBER 0000000
DRAWN	VERIFIED WP/GM	SHEET NO A602
APPROVED TO ISSUE <i>W Phelps</i>		ISSUE 2
WILLIAM PHELPS ARN 6675		

Cher

A large, mature Cupaniopsis anardioides tree with dense, glossy green foliage, standing in a garden setting with other plants and a building in the background.

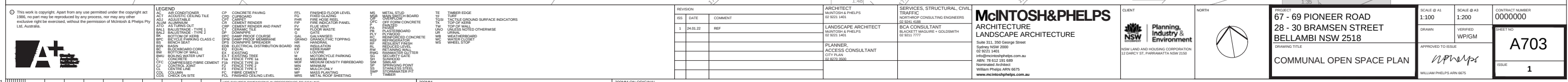


Grevillea Sp.



			SLUDG		DCP SLUDG takes precedence over the DCP	
	Deep soil zone	Required	15% x site min 3m wide	397.0m ²	15% x site min 6m wide (hatched) behind bldg line	397.0m ²
		Actual	26% x site	691.3m ²	6.6% x site	175.5m ²
	Landscaped Area	Required	30% x site DP 35989	794.0m ²	30% x site min 1.5m wide	794.0m ²
	Min. 3m wide		2,647m ²	691.3m ²		693.1m ²
	Min 1.5m wide			128.7m ²		128.7 m ²
	< 1.5m wide			129.8m ²		
		Actual	35.8% x site	949.8m ²	30.9% x site	820.0m ²

Heck



LAHC BELLAMBI

67 - 69 PIONEER ROAD & 28 - 30 BRAMSEN STREET, BELLAMBI CIVIL ENGINEERING PACKAGE



DETERMINED by the New South Wales Land & Housing Corporation on:

Glenn

16/12/2022

Sheet List Table	
Sheet Number	Sheet Title
C01.01	COVER SHEET
C02.01	SEDIMENT AND SOIL EROSION CONTROL PLAN
C02.11	SEDIMENT AND SOIL EROSION CONTROL DETAILS
C03.01	CUT AND FILL PLAN
C04.02	SITEWORKS AND STORMWATER MANAGEMENT PLAN



LOCALITY PLAN

SOURCE: NEARMAPS (2020)

DRAWN: APACIBEN
DESIGNED: A.KAYPEROS
JOB MANAGER: G.COLLINS
VERIFIER:

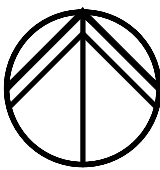
REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
01	ISSUED FOR REVIEW	AK	-	GC	22.06.21
02	ISSUED FOR REF SUBMISSION	AK	-	GC	03.12.21



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Email sydney@northrop.com.au ABN 81 094 433 100

PROJECT

67 - 69 PIONEER ROAD & 28 - 30
BRAMSEN STREET, BELLAMBI

DRAWING TITLE

CIVIL ENGINEERING PACKAGE

COVER SHEET

JOB NUMBER

202330

DRAWING NUMBER

C01.01

REVISION

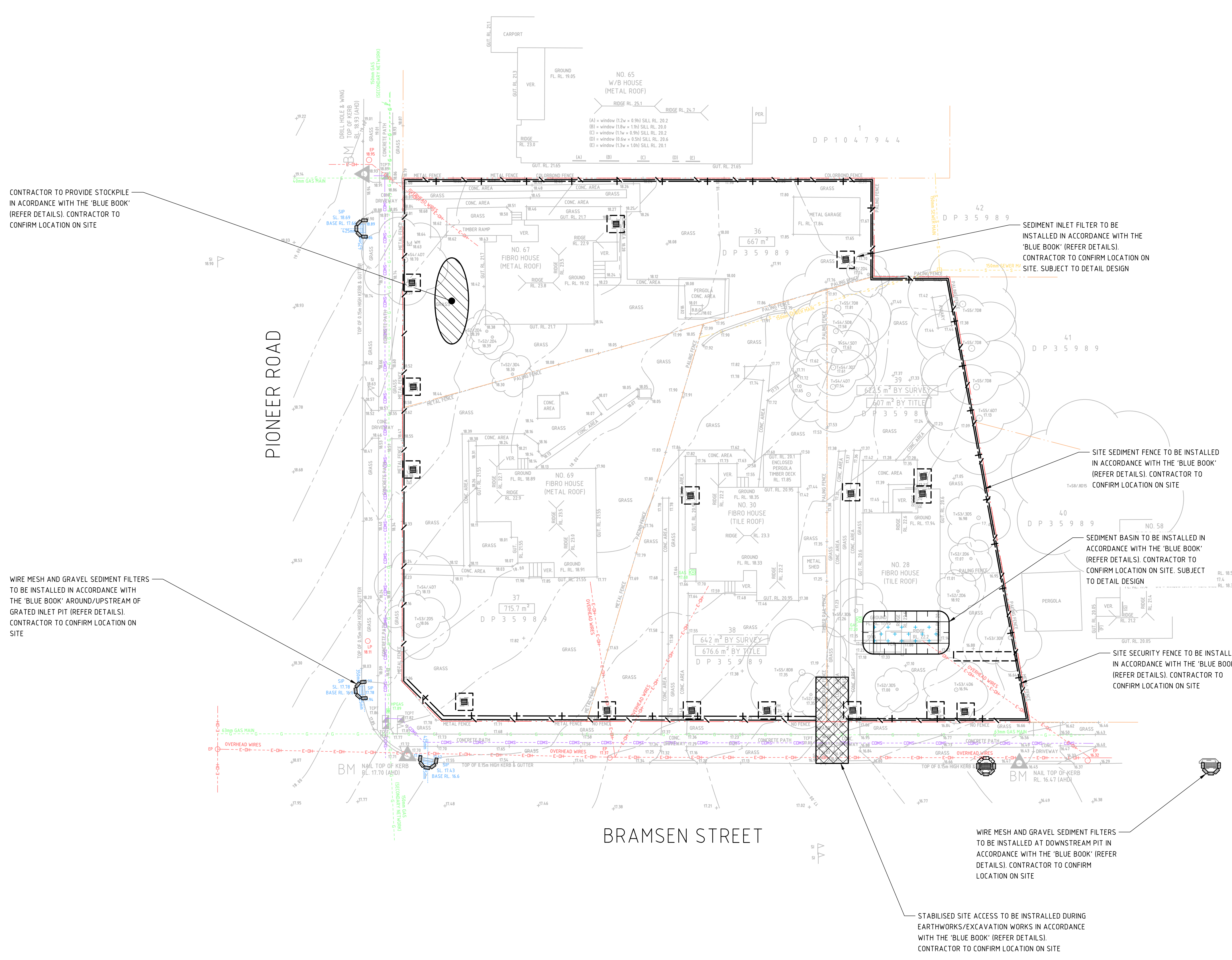
02

DRAWING SHEET SIZE = A1

DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED

NOT FOR CONSTRUCTION

DETERMINED by the New South Wales Land & Housing Corporation on: *Click*



LEGEND

PROPOSED BOUNDARY LINE

EXISTING BOUNDARY LINE

EASEMENT LINE

REDUNDANT BOUNDARY LINE

EXISTING CONTOURS

SEDIMENT FENCE

SECURITY FENCE

MESH AND GRAVEL INLET FILTER

DROP INLET SEDIMENT TRAP

STABILISED SITE ACCESS

STOCKPILE

SEDIMENT BASIN

VERIFIER: GCOLLINS
JOB MANAGER: ALKAPEROS
DESIGNED: ALKAPEROS
DRAWN: APACIBEN

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
01	ISSUED FOR REVIEW	AP	-	GC	18.06.21
02	ISSUED FOR REVIEW	AP	-	GC	21.06.21
03	ISSUED FOR REF SUBMISSION	AK	-	GC	03.12.21



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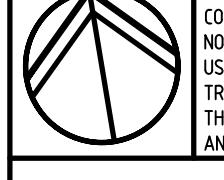
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PROJECT

67 - 69 PIONEER ROAD & 28 - 30
BRAMSEN STREET, BELLAMBI

DRAWING TITLE

CIVIL ENGINEERING PACKAGE

SEDIMENT AND SOIL EROSION
CONTROL PLAN

JOB NUMBER

202330

DRAWING NUMBER

C02.01

REVISION

03

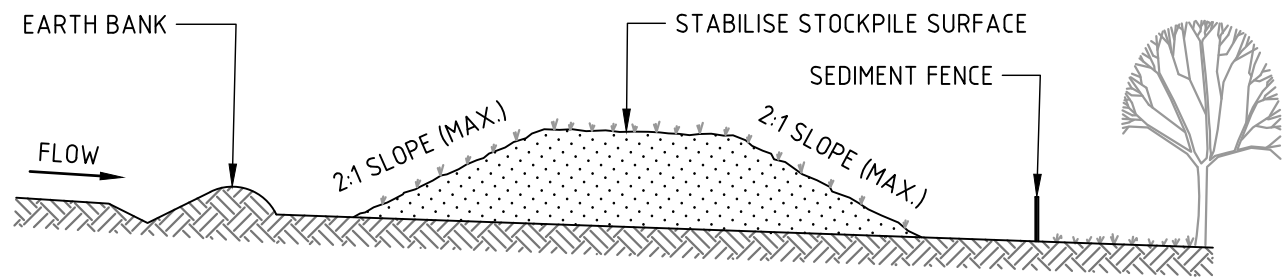
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DETERMINED by the New South Wales Land & Housing Corporation on:

16/12/2022

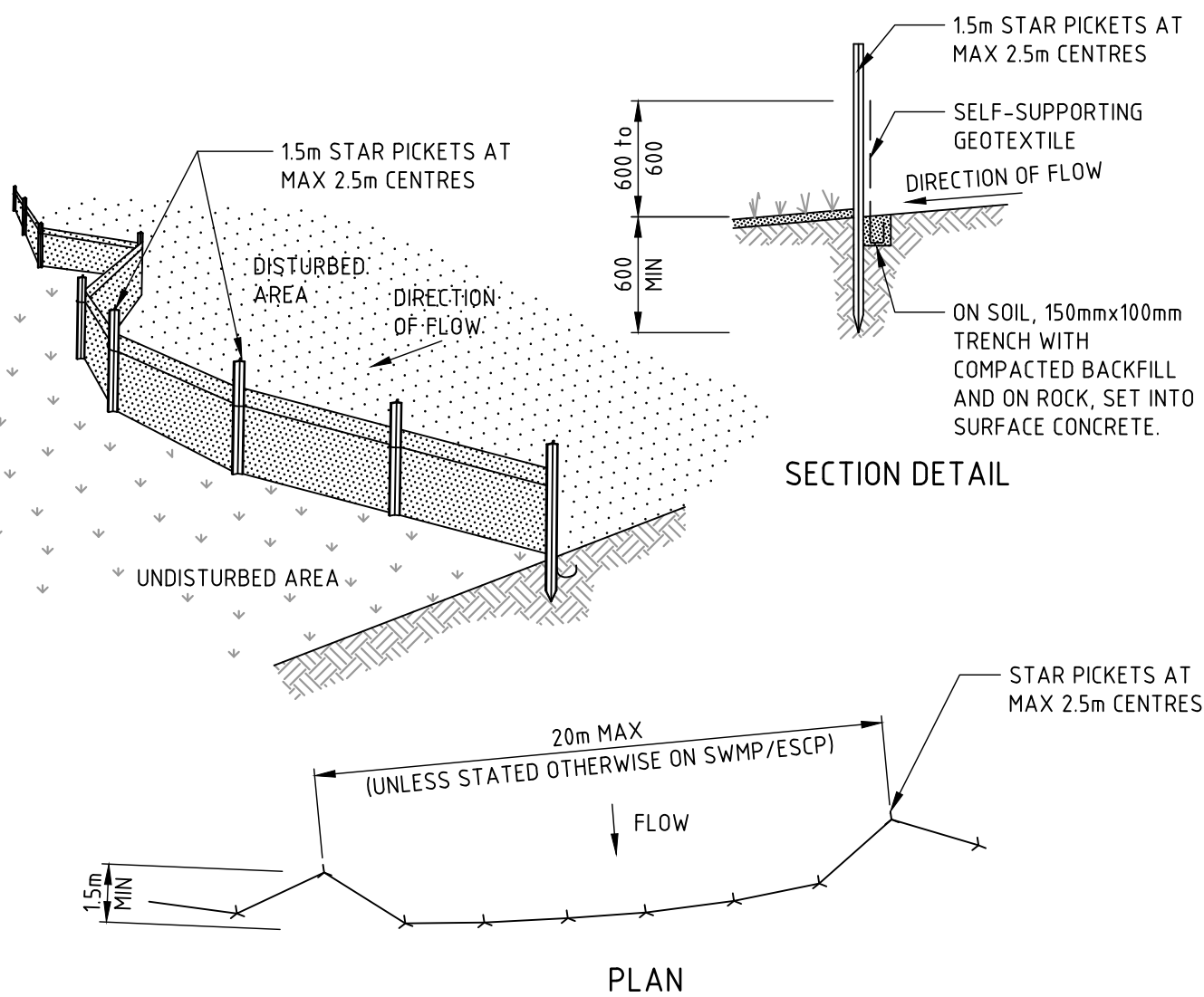
Chish



CONSTRUCTION NOTES

1. PLACE STOCKPILES MORE THAN 2m (PREFERABLY 5m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2m DOWNSLOPE.

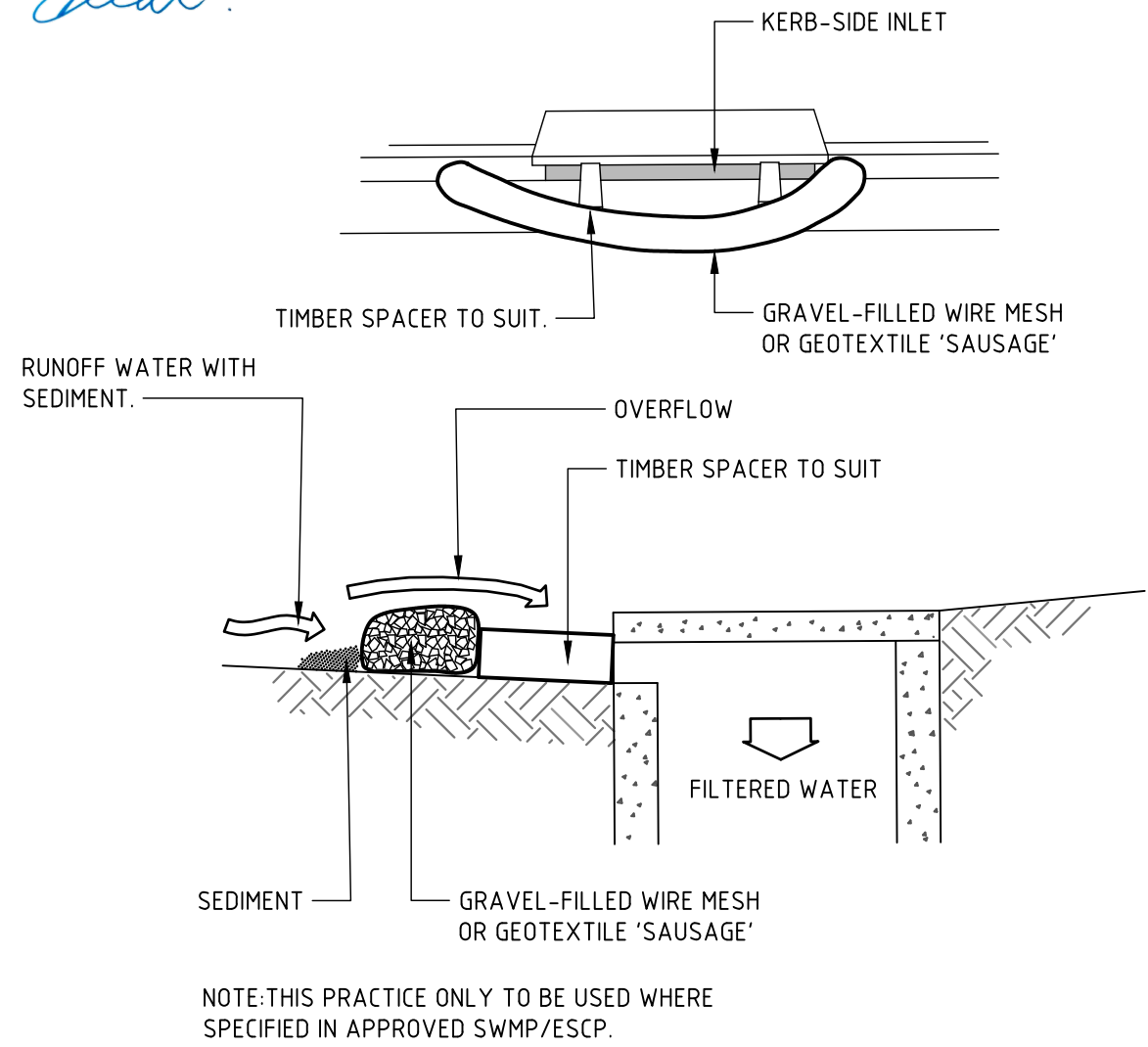
STOCKPILES (SD 4-1)



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 15 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

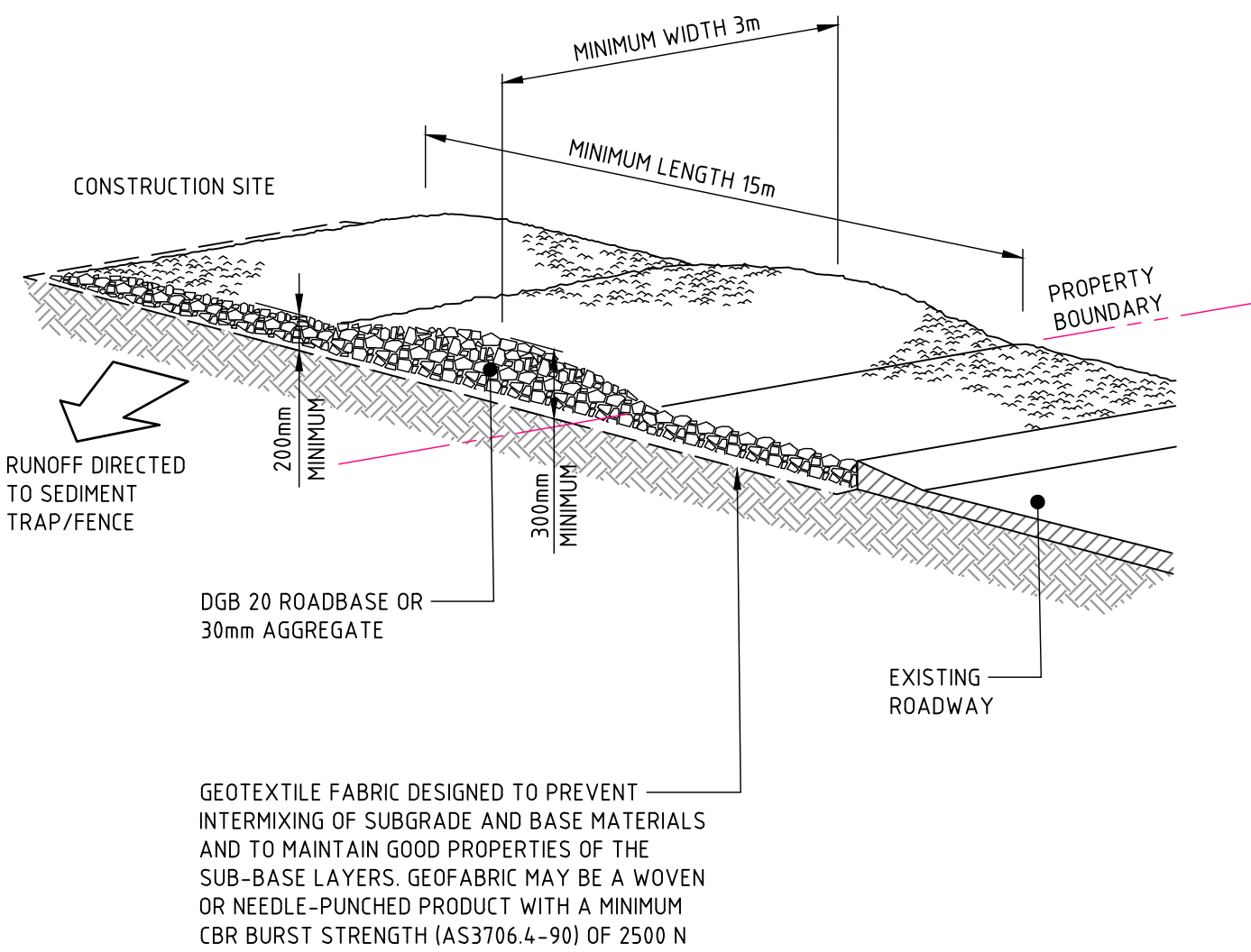
SEDIMENT FENCE (SD 6-8)



CONSTRUCTION NOTES

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

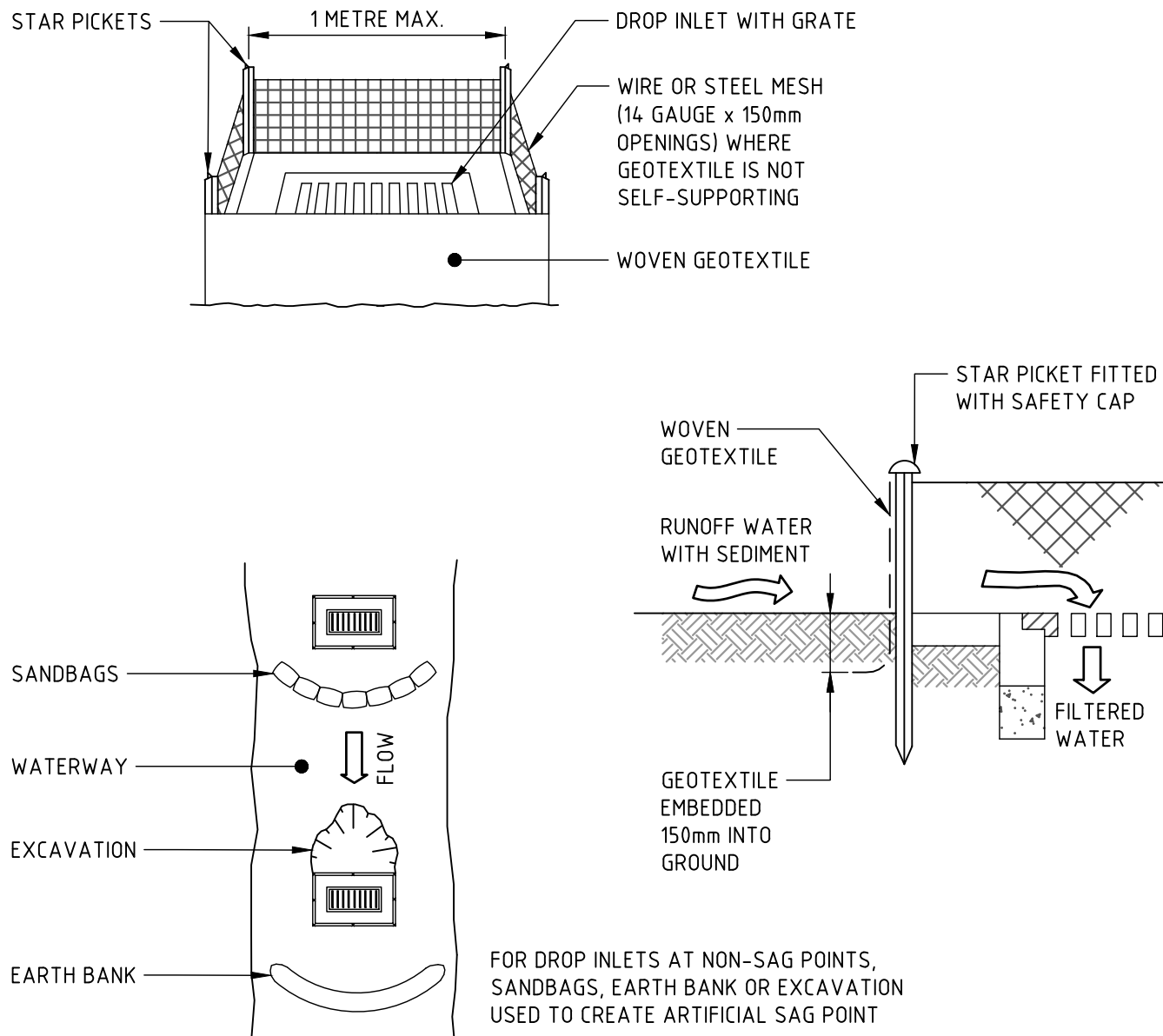
MESH AND GRAVEL INLET FILTER (SD 6-11)



CONSTRUCTION NOTES

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

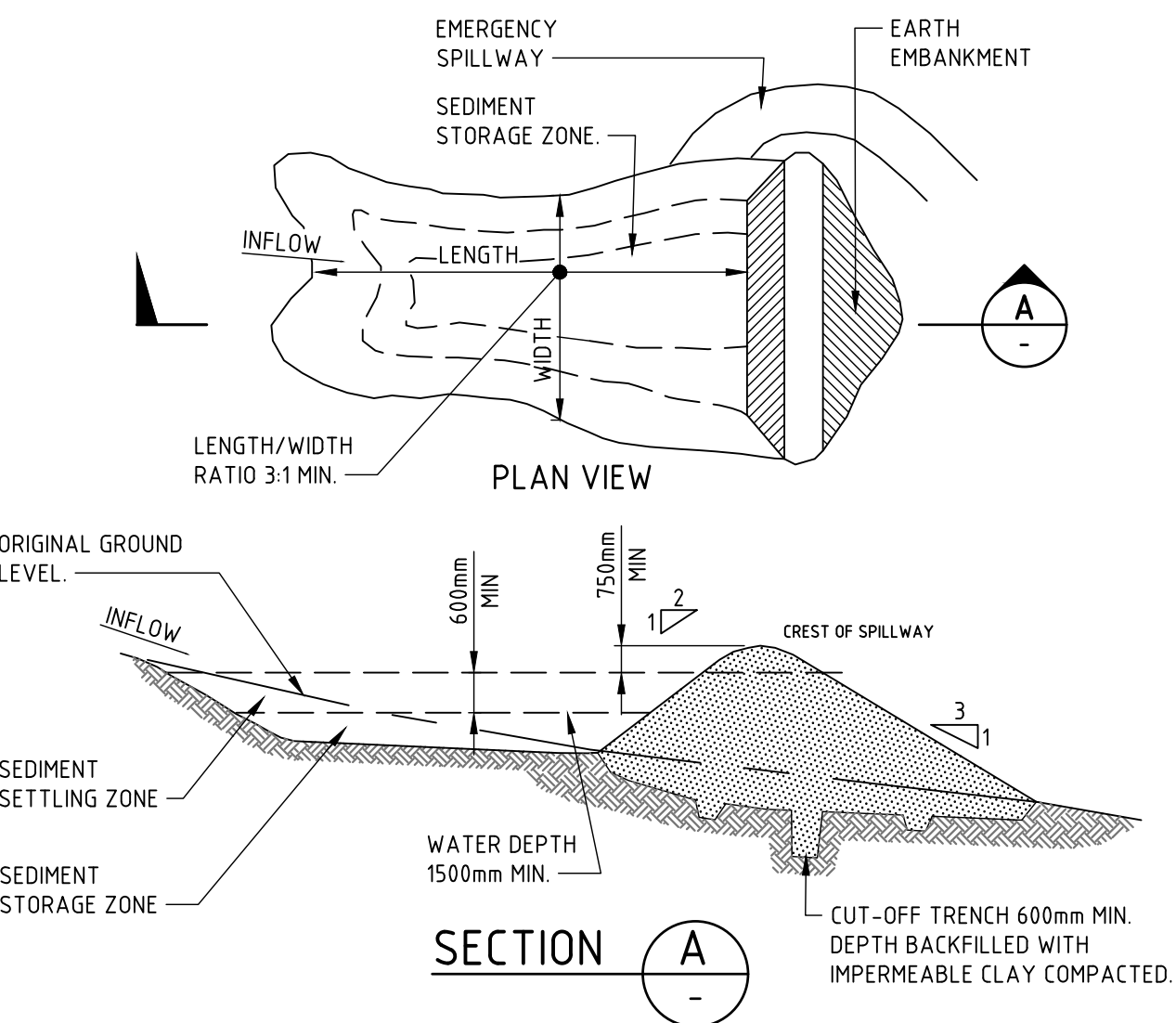
STABILISED SITE ACCESS (SD 6-14)



CONSTRUCTION NOTES

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STANDARD DRAWING 6-7 AND STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

GEOTEXTILE INLET FILTER (SD 6-12)



CONSTRUCTION NOTES

1. REMOVE ALL VEGETATION AND TOPSOIL FROM UNDER THE DAM WALL AND FROM WITHIN THE STORAGE AREA.
2. CONSTRUCT A CUT-OFF TRENCH 500mm DEEP AND 1200mm WIDE ALONG THE CENTRELINE OF THE EMBANKMENT EXTENDING TO A POINT ON THE GULLY WALL LEVEL WITH THE RISER CREST.
3. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIALS WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO 95 PER CENT STANDARD PROCTOR DENSITY.
4. SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD, ROCK, LARGE STONE OR FOREIGN MATERIAL.
5. PREPARE THE SITE UNDER THE EMBANKMENT BY RIPPING TO AT LEAST 100mm TO HELP BOND COMPACTED FILL TO THE EXISTING SUBSTRATE.
6. SPREAD THE FILL IN 100mm TO 150mm LAYERS AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP.
7. CONSTRUCT THE EMERGENCY SPILLWAY.
8. REHABILITATE THE STRUCTURE FOLLOWING THE SWMP.

(APPLIES TO 'TYPE D' AND 'TYPE F' SOILS ONLY)
EARTH BASIN - WET

NOT FOR CONSTRUCTION

VERIFIER: G COLLINS
JOB MANAGER: G COLLINS
DESIGNED: A KAYPEROS
DRAWN: A PACIBEN

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
01	ISSUED FOR REVIEW	AP	-	GC	18.06.21
02	ISSUED FOR REVIEW	AK	-	GC	21.06.21
03	ISSUED FOR REF SUBMISSION	AK	-	GC	03.12.21

CLIENT

 **Land & Housing Corporation**

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ARCHITECT

McINTOSH&PHELPS

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PROJECT

67 - 69 PIONEER ROAD & 28 - 30 BRAMSEN STREET, BELLAMBI

DRAWING TITLE

CIVIL ENGINEERING PACKAGE

SEDIMENT AND SOIL EROSION CONTROL DETAILS

JOB NUMBER

202330

DRAWING NUMBER

C02.11

REVISION

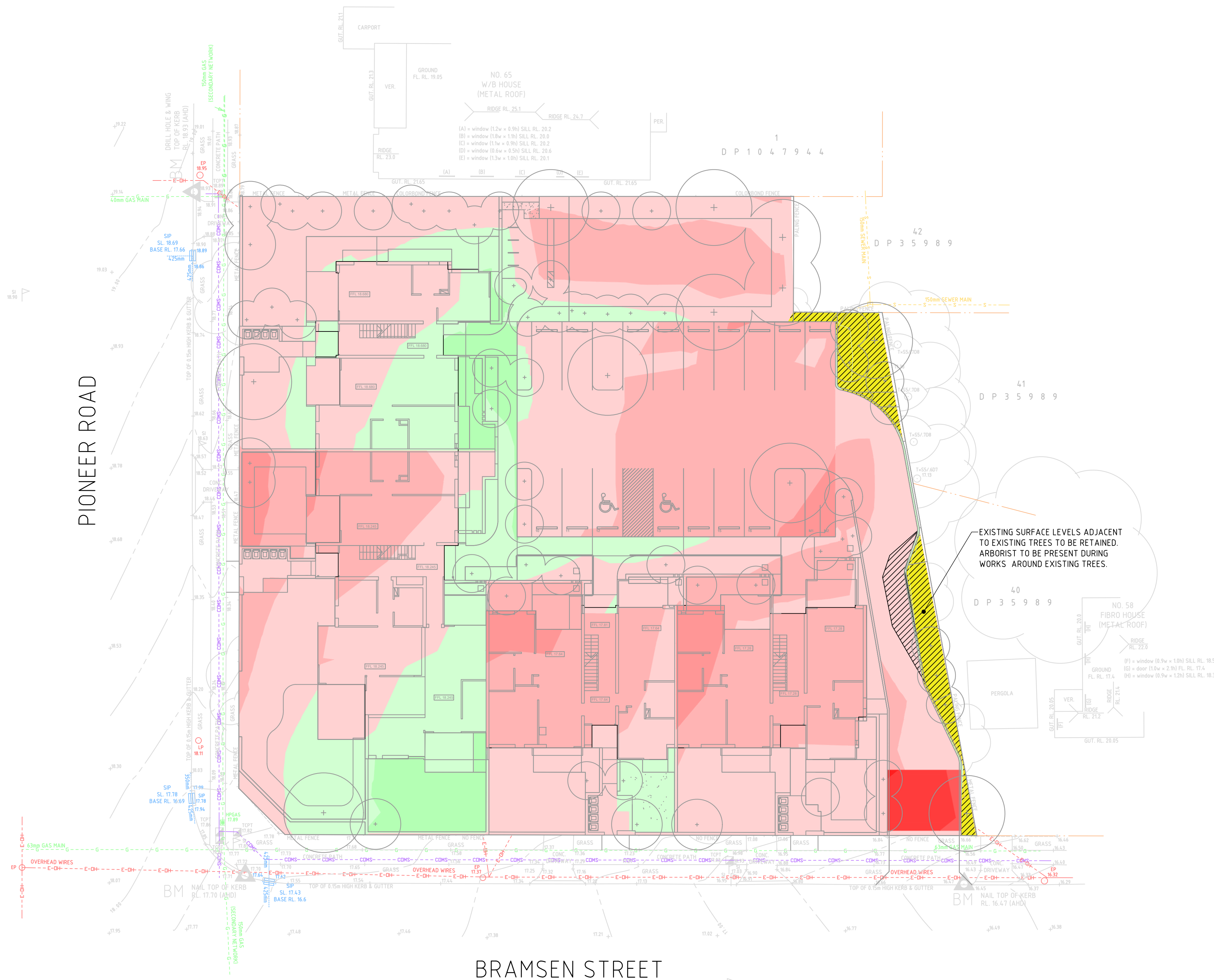
03

DRAWING SHEET SIZE = A1

Check

DETERMINED by the New South Wales Land & Housing Corporation on:

16/12/2022



LEGEND

- PROPOSED BOUNDARY LINE
- BEXX.XX** BULK EARTHWORKS PAD LEVEL
- XXXX --- CONTOURS
- DEPTH OF FILL**
- | |
|----------------|
| 0.00m TO 0.25m |
| 0.25m TO 0.5m |
| 0.5m TO 0.75m |
| 0.75m TO 1.0m |
| 1.0m TO 1.25m |
| 1.25m TO 1.5m |
| 1.5m TO 2.0m |
| 2.0m TO 999m |
- DEPTH OF CUT**
- | |
|--------------------|
| - 999m TO - 2.0m |
| - 2.0m TO - 1.5m |
| - 1.5m TO - 1.25m |
| - 1.25m TO - 1.0m |
| - 1.0m TO - 0.75m |
| - 0.75m TO - 0.5m |
| - 0.5m TO - 0.25m |
| - 0.25m TO - 0.15m |
| 0.0m TO - 0.15m |
- APPROX. AS PER EXISTING LEVELS

NOTES

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL / RELEVANT AUTHORITY SPECIFICATIONS AND DETAILS.
- STRIP EXISTING TOPSOIL IN CONSULTATION WITH THE GEOTECHNICAL ENGINEER / REPORT. FOR THE PURPOSES OF CUT/FILL CALCULATIONS NO TOPSOIL STRIPPING DEPTH HAS BEEN ASSUMED.
- ALL BULK LEVELS AND VOLUMES ARE APPROXIMATE ONLY SUBJECT TO DETAILED MODELLING DURING THE DETAILED DESIGN STAGE OF WORKS.
- NO ALLOWANCE HAS BEEN MADE FOR BULKING FACTORS. NOTE ALL VOLUMES DEPICTED ARE SOLID VOLUMES ONLY AND MAY NOT REFLECT DETAILED EARTHWORKS.
- NO ALLOWANCE HAS BEEN MADE FOR DETAILED EARTHWORKS, ie SERVICE TRENCHING, DETAILED EXCAVATION, FOOTINGS, RETAINING WALLS AND THE LIKE. CONTRACTOR IS TO ALLOW FOR REMOVAL OF ALL EXCESS MATERIAL GENERATED BY THE WORKS.
- THE CONTRACTOR SHALL USE FINAL SURFACE LEVELS AND TYPICAL PAVEMENT DETAILS FOR ACTUAL EARTHWORKS LEVELS.
- BULK EARTHWORKS ARE BASED ON THE FOLLOWING DEPTHS FROM FINISHED SURFACE LEVELS:

7.1. CONCRETE PAVEMENT	390mm
7.2. BUILDING SLAB	300mm (REFER STRUCTURAL DWGS)
7.3. FOOTPATH PAVEMENT	200mm
7.4. LANDSCAPE AREA	200mm
7.5. PERMEABLE PAVEMENT	150mm
- APPROXIMATE BULK EARTHWORK VALUES AS FOLLOWS;

8.1. CUT	-523 cu.m
8.2. FILL	68 cu.m
8.3. BALANCE	-455 cu.m
- NOTE: SITE STRIPPING VOLUMES HAVE NOT BEEN INCLUDED IN ABOVE CALCULATIONS.

NOT FOR CONSTRUCTION

DRAWN: APACIBEN
DESIGNED: A.KAPPEROS
JOB MANAGER: G.COLLINS
VERIFIER:

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
01	ISSUED FOR REVIEW	AK		GC	22.06.21
02	ISSUED FOR REF SUBMISSION	AK	-	GC	03.12.21
03	ISSUED FOR REF SUBMISSION	AK	-	GC	03.12.21

CLIENT

NSW Land & Housing Corporation

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ARCHITECT

McINTOSH&PHELPS

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SCALE 1:200@A1

0 2 4 6 8 10m

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PROJECT

67 - 69 PIONEER ROAD & 28 - 30 BRAMSEN STREET, BELLAMBI

DRAWING TITLE

CIVIL ENGINEERING PACKAGE

CUT AND FILL PLAN

JOB NUMBER

202330

DRAWING NUMBER

C03.01

REVISION

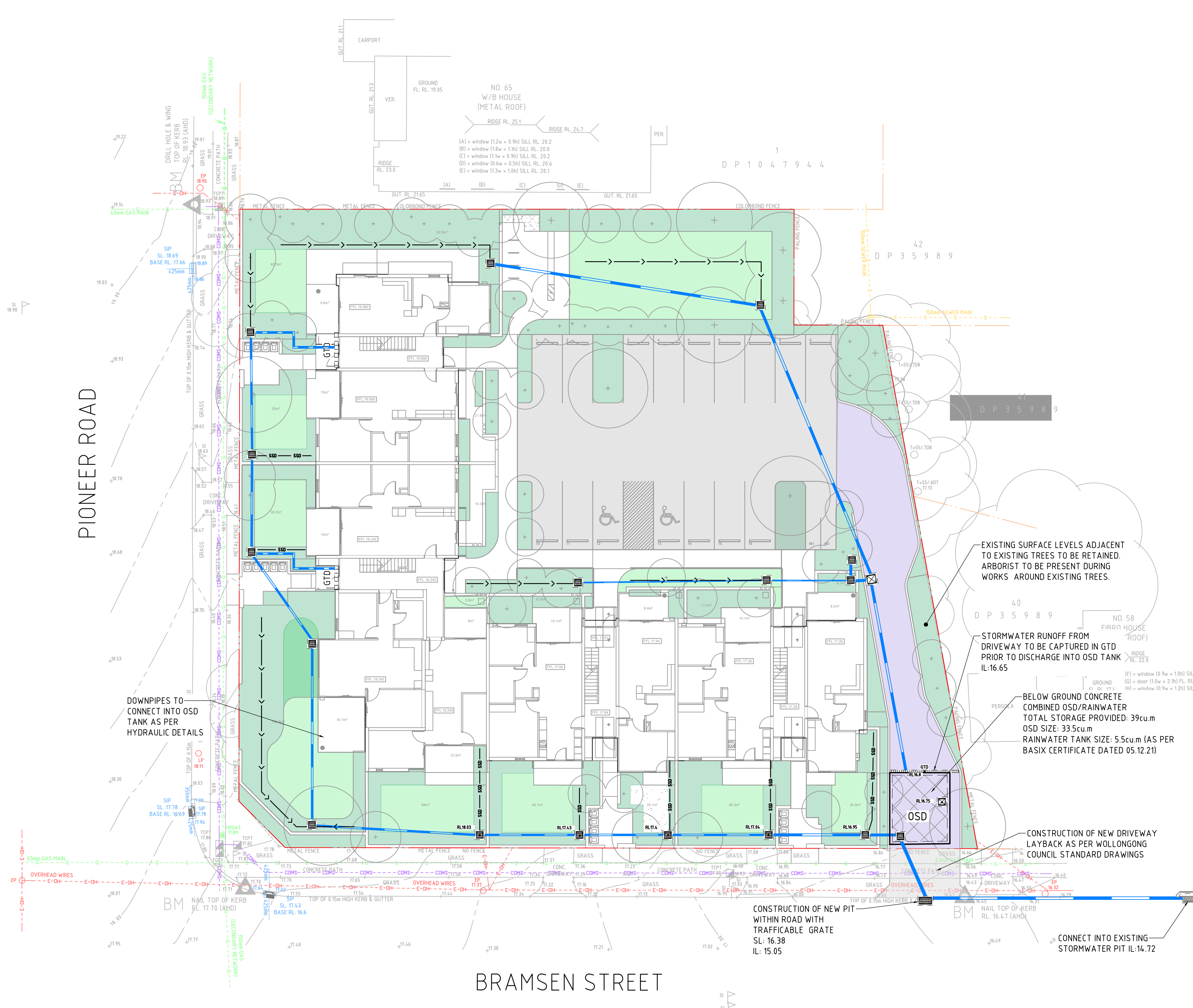
03

DRAWING SHEET SIZE = A1

DETERMINED by the New South Wales Land & Housing Corporation on:

16/12/2022

Cher



LEGEND

PROPOSED BOUNDARY LINE

EXISTING BOUNDARY LINE

EASEMENT LINE

REDUNDANT BOUNDARY LINE

RLXX.XX

PROPOSED SPOT HEIGHT

FSLXX.XX

PROPOSED FINISHED FLOOR LEVEL

XX.X

DIRECTION OF GRADE

EXISTING CONTOURS

DRAINAGE CHANNEL

EXISTING DRAINAGE STRUCTURE

NEW DRAINAGE STRUCTURE

Ø150

STORMWATER PIPE

GRATED TRENCH DRAIN

OSD

ON-SITE DETENTION TANK

K0

KERB ONLY

KG

KERB AND GUTTER

DD

DISH DRAIN

LK

LAYBACK

VC

VEHICULAR CROSSING

SSD

SUBSOIL DRAINAGE LINE

LANDSCAPE (REFER LANDSCAPE ARCHITECT DRAWINGS)

GRASS (REFER LANDSCAPE ARCHITECT DRAWINGS)

CONCRETE PAVEMENT (REFER LANDSCAPE ARCHITECT DRAWINGS)

PERMEABLE PAVEMENT (REFER LANDSCAPE ARCHITECT DRAWINGS)

GENERAL NOTES:

1.

ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS DRAWING HAVE BEEN PREPARED FOR CONCEPT PURPOSES TO DEMONSTRATE FEASIBILITY. ALL MEASURES WILL BE SUBJECT TO CHANGE DURING DETAILED DESIGN PROVIDED THAT THE DESIGN INTENT IS MAINTAINED.

VERIFIER:

JOB MANAGER: G.COLLINS

DESIGNED: A.KAPPEROS

DRAWN: A.PACIBEN

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
01	ISSUED FOR REVIEW	AS	.	GC	07.04.21
02	ISSUED FOR REF SUBMISSION	AP	.	GC	03.12.21
03	ISSUED FOR REF SUBMISSION	AK	.	GC	21.10.22

NSW GOVERNMENT

Land & Housing Corporation

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ARCHITECT

McINTOSH&PHELPS

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SCALE 1:200@ A1

0 2 4 6 8 10m

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PROJECT

67 - 69 PIONEER ROAD & 28 - 30 BRAMSEN STREET, BELLAMBI

DRAWING TITLE

CIVIL ENGINEERING PACKAGE

SITEWORKS AND STORMWATER PLAN

JOB NUMBER

202330

DRAWING NUMBER

C04.02

REVISION

03

DRAWING SHEET SIZE = A1

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